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SCHEDULE 11 TO THE DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO11**

OAKLEIGH MAJOR ACTIVITY CENTRE

1.0

Design Objectives

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The Oakleigh Major Activity Centre Structure Plan, 28 June 2011 (OMAC Structure Plan) identifies 6 precincts where change will occur (refer to Figure 1 in this schedule). These precincts are:

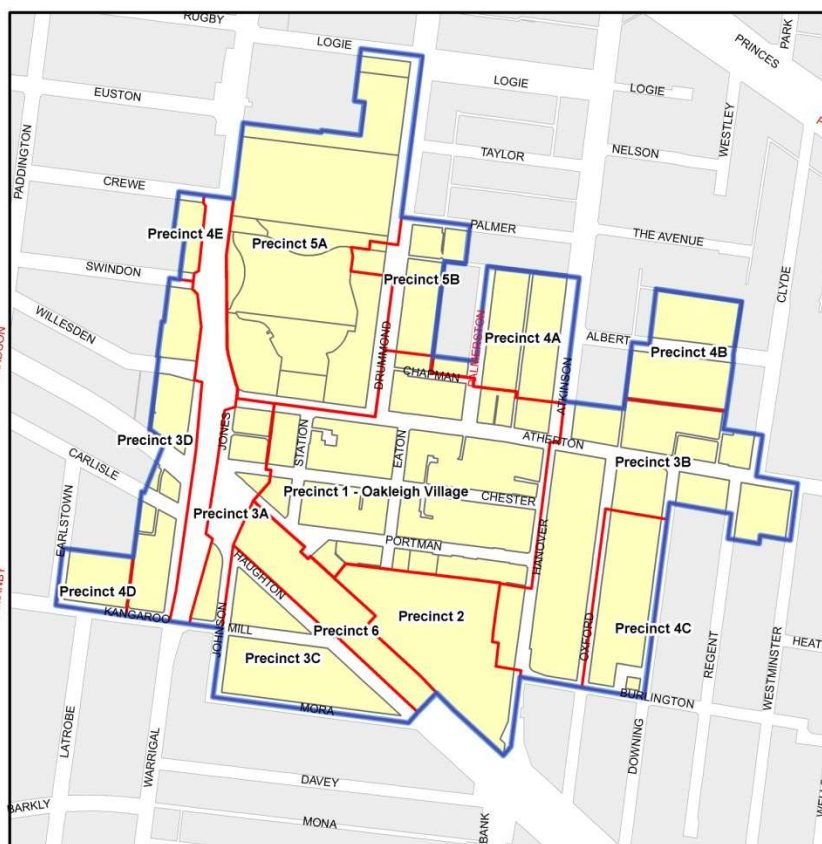


Figure 1:- OMAC Precincts Plan

Precinct 1 – Oakleigh Village

Precinct 2 – Oakleigh Centre

Precinct 3 – Commercial Periphery [Sub-Precincts 3A,3B,3C,3D]

Precinct 4 – Residential Periphery [Sub-Precincts 4A,4B,4C,4D,4E]

Precinct 5 – Civic, Warrawee Park and Heritage [Sub-Precincts 5A,5B]

Precinct 6 – Station and Railway

The Design Objectives are:-

- To ensure that the Oakleigh Major Activity Centre is developed in accordance with preferred built form outcomes.
- To avoid underdevelopment of sites.
- To maintain the prevailing streetscape rhythm and building scale of the Oakleigh Village.
- To develop the centre in a way that conserves and enhances its valued urban character and heritage places.
- To encourage a range of housing types and forms.
- To encourage environmentally sustainable design in the Oakleigh Major Activity Centre.
- To protect the economic viability of businesses by designing and constructing commercial premises to prevent unreasonable off-site amenity impacts on adjoining and nearby residential uses.
- To ensure new housing provides a high level of on-site amenity for residents.
- To improve pedestrian and access between key destination points.
- To ensure public spaces including key pedestrian streets have good solar access and weather protection.
- To ensure that new development contributes to safe and active streets.

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Design Requirements

Transport and Access

- Minimise the impact on local character by promoting pedestrian movement as the primary form of access including through infrastructure improvements.
- Ensuring new development improves linkages between public transport and key destinations, incorporating better transport interchanges and waiting areas where appropriate.

Urban Design and Heritage

- All infrastructure improvements in the activity centre, including street widening, paving upgrades and new buildings should have a primary focus of improving pedestrian amenity and access to and through the centre, linking key destination points.
- Formal and informal seating and resting spaces should be included as part of streetscape improvements and provision of civic spaces where key sites are developed within the Oakleigh Village Precinct.
- Buildings and civic/pedestrian spaces should be designed to provide access to people of all abilities.
- Surface treatments should comprise low reflectivity materials and finishes that are a durable type.

Building Design

- All development should incorporate environmentally sustainable design through appropriate building designs and technology.

- Encourage active frontages at ground level and opportunities for passive surveillance from upper levels in the Oakleigh Village, Oakleigh Centro and Commercial Periphery Precincts.
- New development should reinforce the existing character of predominantly narrow shop fronts in the Oakleigh Village Precinct by using vertical articulation rather than horizontal.
- Development that will accommodate residential or other noise sensitive uses must provide acoustic insulation for habitable rooms that may be affected by noise from businesses, street activity, vehicular traffic and rail activities.
- Development that will accommodate entertainment and commercial uses must include noise attenuation measures to minimise amenity impacts on residential uses.
- A building should not exceed the Preferred Building Height (in metres and storeys) specified in the built form precinct provisions of this Schedule unless particular site conditions warrant an alternative design response and that design response demonstrates a respect for, and significantly contributes to, the preferred character of the Oakleigh Major Activity Centre. (refer Figure 2 in this schedule)

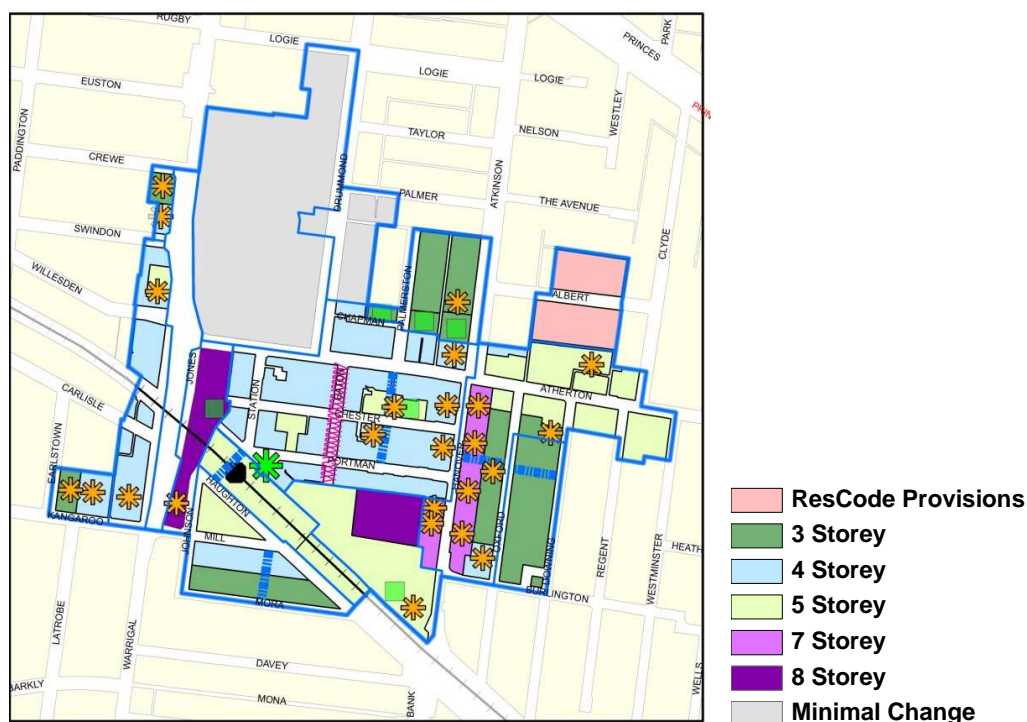


Figure 2:- OMAC Preferred Building Heights

- A building should be setback in accordance with the Setback requirements as specified in the built form precinct provisions of this Schedule.
- Setbacks from rear and side boundaries should have regard to the nature of abutting uses and in particular respond to the potential impact on any sensitive use, including residential uses.
- Development on land in a Business Zone that is adjacent to a Residential Zone should be designed to achieve a transition in height and building form.
- Mechanical plant and/or equipment must be screened from view from the front street frontages and abutting properties.

- Material and finishes should reinforce vertical articulation, stepped built form and the distinction between podium and upper levels.
- Building with long continuous facades should be broken into smaller vertical sections using variation in wall articulation, window sizes, blank wall areas, materials, colours and textures.

3.0 Buildings and works

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Storey

For the purposes of this schedule, a 'storey' does not include a basement. The minimum height of a commercial storey (floor to floor) is 3.8 metres. The minimum height of a residential storey (floor to floor) is 3 metres.

For the purpose of this schedule building height does not include architectural elements, including parapets and roof forms, that enhances the articulation of the built form and improve the appearance of the building.

Mechanical plant and/or equipment must be screened from view from the front street frontages and abutting properties.

4.0 Development within Precinct 1 - Oakleigh Village

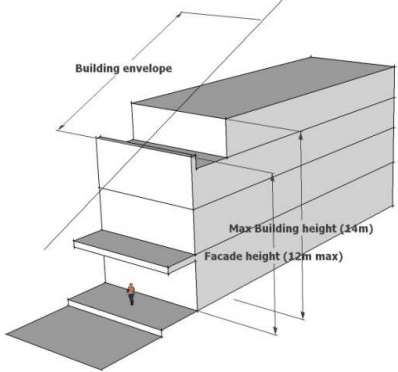
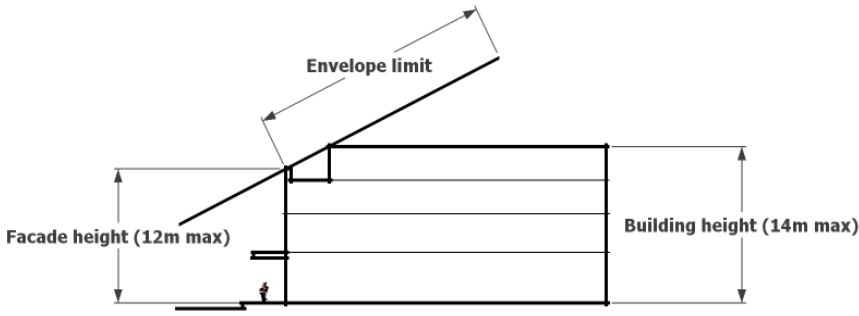
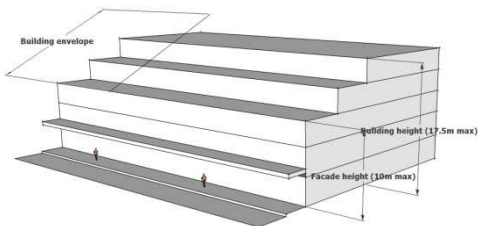
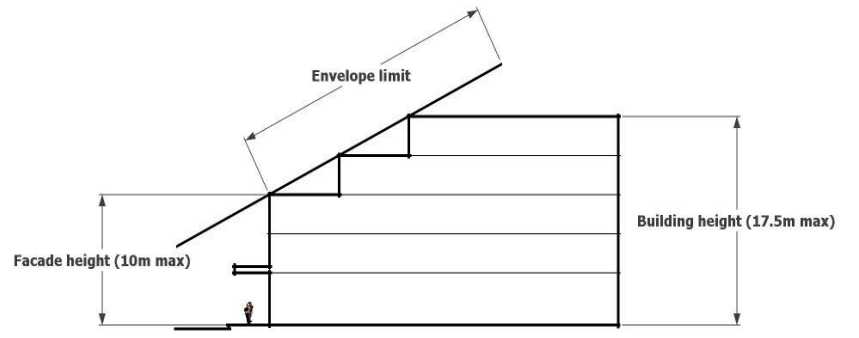
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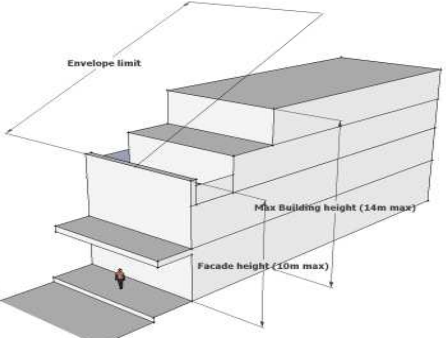
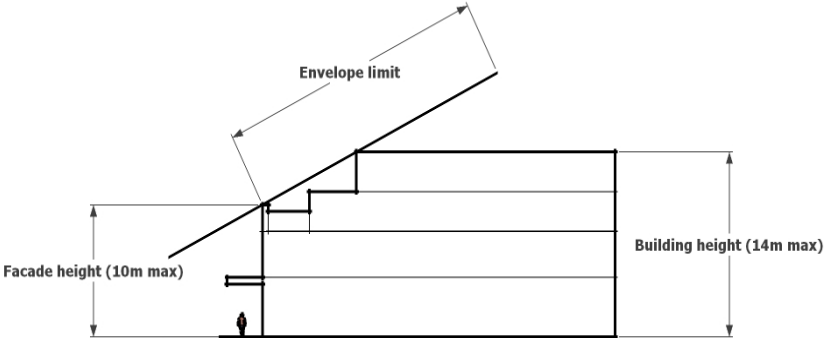
Precinct Objectives

To retain and enhance the pattern of urban development in the core centre that is characterised by small lot frontages, two storey federation and inter-war buildings, steeply pitched roofs and architecturally detailed upper storeys.

- To encourage, where possible, the retention of the existing facades.
- To further improve and encourage active street frontages to create interest and vitality at the pedestrian level.
- To encourage an appropriate mix of residential and commercial uses to develop within the Precinct, in addition to the existing retail development.
- To encourage an enhanced pedestrian environment within the Precinct.
- To support the continued improvement of the public realm.

Precinct Requirements

Precinct	Preferred Setbacks	Preferred Building Height
1	<p>Atherton Road</p> <p>Zero street setback up to a façade height of 12 metres.</p> <p>Upper levels setback from the façade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p>	<p>Atherton Road</p> <p>Street facades up to 12 metres at the street alignment and a building height up to 14 metres (4 storeys).</p> 
		
12-18 Chester St & 21-31 Chester St	<p>12-18 Chester St & 21-31 Chester St</p> <p>Zero street setback up to a façade height of 10 metres.</p> <p>Upper levels setback from the façade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p>	<p>12-18 Chester Street & 21-31 Chester Street</p> <p>Street facades up to 10 metres at the street alignment and a building height up to 17.5 metres (5 storeys).</p> 
		

Precinct	Preferred Setbacks	Preferred Building Height
	<p>All other sites</p> <p>Zero street setback up to a façade height of 10 metres (traditional two storey) height.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p>	<p>All other sites</p> <p>Street facades up to 10 metres at the street alignment and a building height up to 14 metres (4 storeys).</p> 
		

Building design

- The design of new buildings, particularly larger buildings, should be articulated into smaller modular components with a width of between 5 metres and 9 metres.
- Active shop fronts should be provided at street level.
- The first floor of facades should reflect the scale and proportion of existing buildings in the streetscape, particularly the traditional building types.
- Verandahs should be provided to all street frontages to break up the vertical scale of the buildings and to enhance pedestrian amenity.
- Plant and equipment should be integrated into the roof space and screened from view.
- Architectural elements that enhance the articulation of the built form and improve the appearance of the building to meet the design objectives of Precinct 1 may exceed the preferred height limit.
- The redevelopment of 156 Drummond Street must be sympathetic with the heritage character of Drummond Street.

Access

- Pedestrian links should be provided from Atherton Road to Chester Street and Chester Street to Portman Street, mid block between Eaton Mall and Hanover Street
- New vehicle crossovers should not disrupt the function of the streetscape.
- The number of existing vehicle crossovers should be reduced where possible.

Precinct Guidelines

- Development should recognise and respect the heritage places within the Precinct.
- Corner buildings should be given prominence to form gateways to the core area and to define streets.
- New buildings should be designed to reflect the narrow frontages of traditional shops in order to maintain the scale and rhythm of the existing facades.
- Development should be designed to maintain a human scale by providing active street frontages and verandahs to shopfronts.
- Building facades and public spaces should reflect the Precinct's function.
- New development should provide opportunities for pedestrian access between the streets, rear lanes and car parking areas.
- Existing lanes should be designed to have a high degree of pedestrian accessibility, including opportunities for surveillance of the lanes from neighbouring buildings.
- Improvement to the public realm should be designed to highlight community spaces and facilities.

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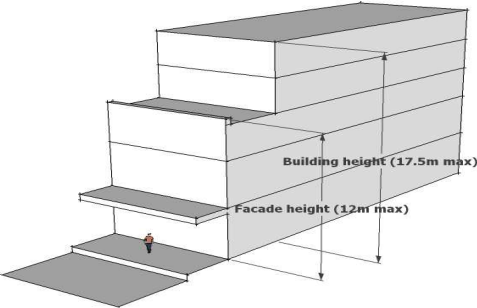
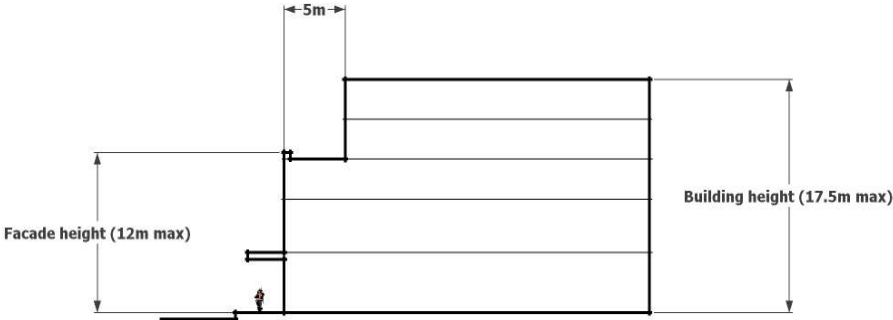
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Development within Precinct 2 – Oakleigh Centro

Precinct Objectives

- To encourage further redevelopment of the shopping centre including new commercial and/or residential development within the Precinct.
- To encourage urban design improvements that enhance the existing built form.
- To encourage an enhanced pedestrian environment within the Precinct that integrates with the surrounding Precincts, particularly Precinct 1 and the adjacent Oakleigh Railway Station and Bus Interchange area.

Precinct Requirements

Precinct	Preferred Setbacks	Preferred Building Height
2	<p>Zero street setback up to a façade height of 12 metres.</p> <p>5 metre setback behind the façade above 12 metres height.</p>	<p>Street facades up to 12 metres at the street alignment and a building height up to 17.5 metres (5 storeys), with a higher built form up to 28.0 metres (8 storeys) sited to avoid interfering in the linear view corridors along Eaton Mall and Burlington Street.</p> 
		

Building Design

- The design of new buildings should be articulated into smaller modular components to minimise the appearance of bulk.
- Active shop fronts should be provided at street level.
- Verandahs should be provided to all street frontages to break up the vertical scale of the buildings and enhance pedestrian amenity.
- Plant and equipment should be integrated into the roof space and screened from view.
- Higher built forms should be sited to avoid interfering with the linear view corridors along Eaton Mall and Burlington Street.

Access

- New vehicle crossovers should not disrupt the function of the streetscape.
- The number of existing crossovers should be reduced where possible.

Precinct Guidelines

- Development above the existing Centro shopping centre structure should have regard to the broader views of the centre, particularly from the south, and should not dominate Precinct 1. Long sheer walls of buildings are discouraged.
- Development abutting the west side of Hanover Street should provide active retail frontages with shopfronts and verandahs at ground floor.
- The gateway location located at the south east corner of the Precinct should be enhanced by new development, which creates a landmark entry to the Oakleigh MAC and provides for a greater presence of the entrance to the Centro Shopping Centre.
- Development should be contemporary in design and to a high standard, with wall and roof forms modulated to break down the appearance of bulk and to provide human scale and visual interest.
- Development should be designed to enhance and improve the public realm, highlighting community spaces and facilities.

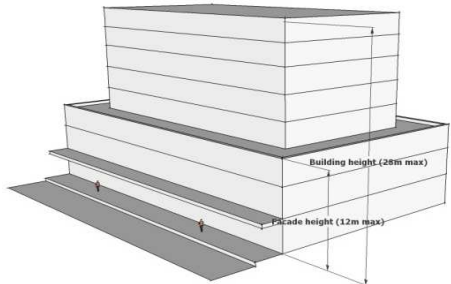
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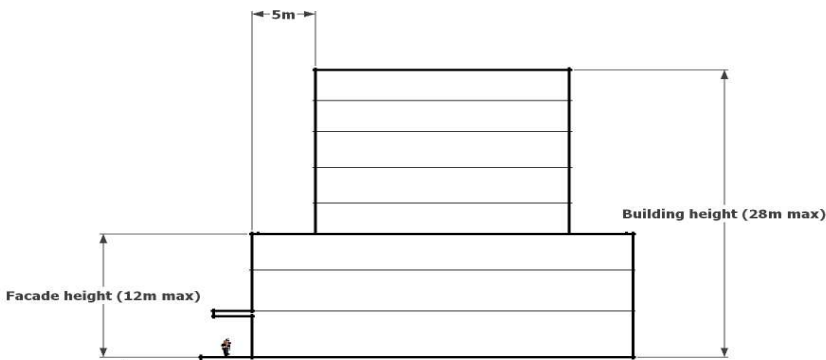
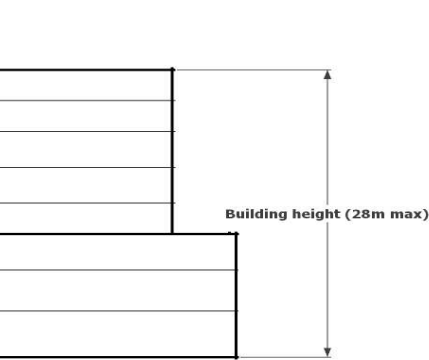
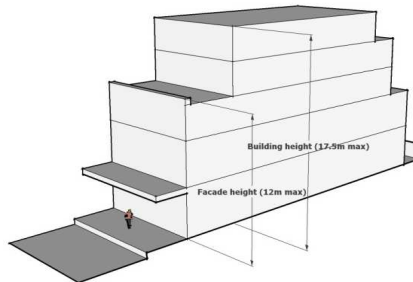
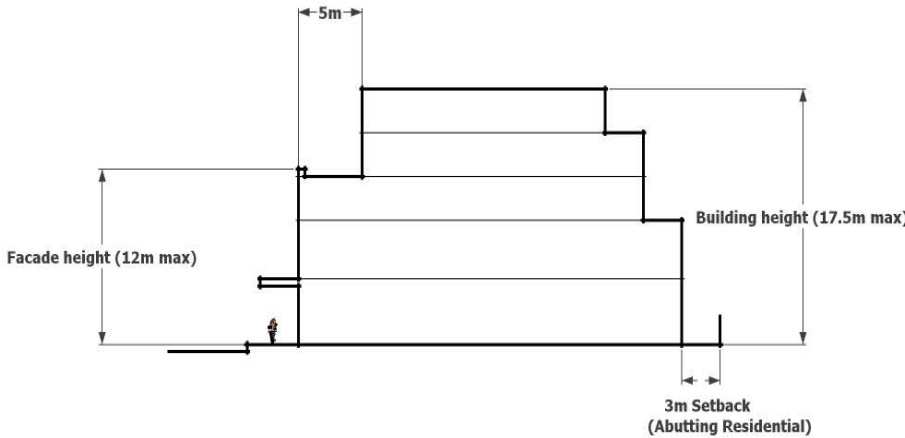
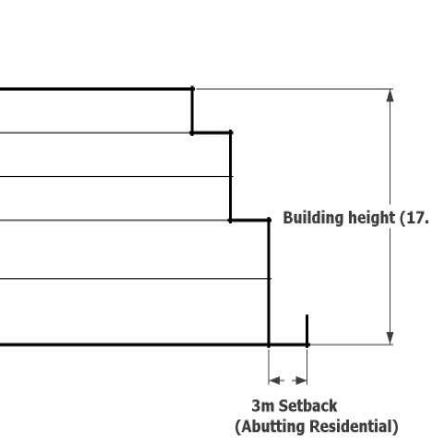
Development within Precinct 3 – Commercial Periphery

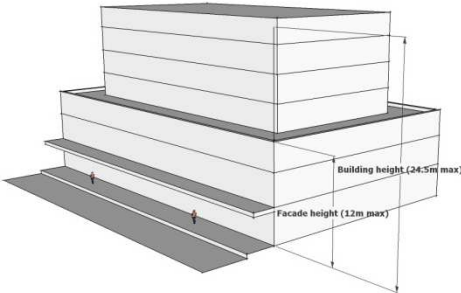
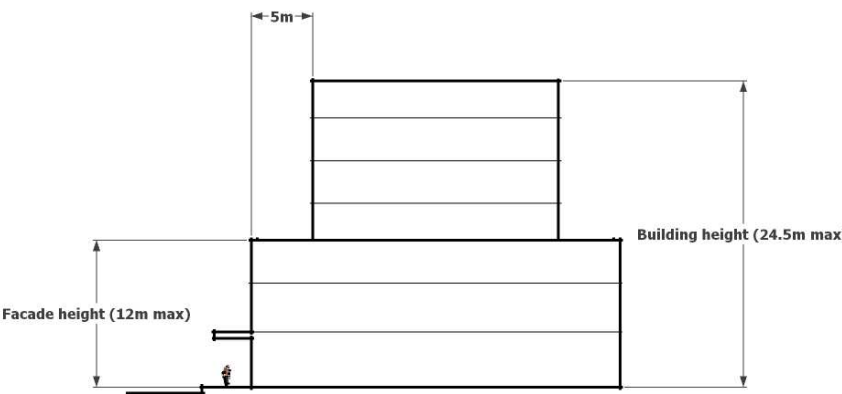
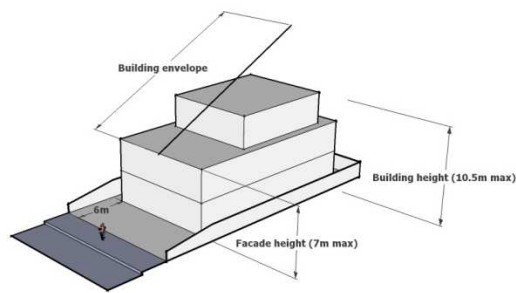
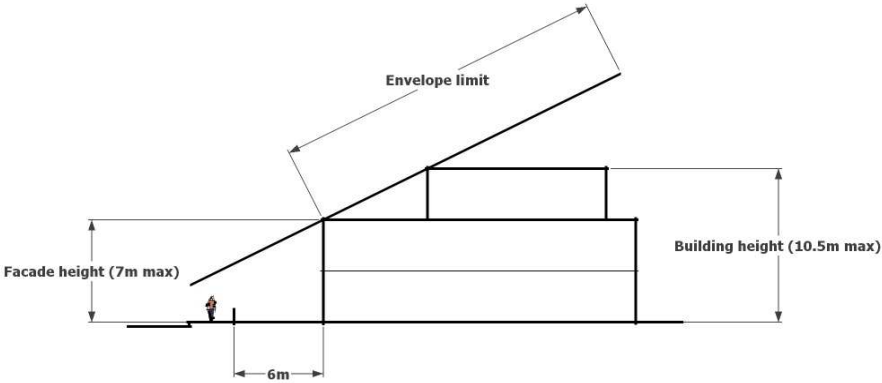
Precinct Objectives

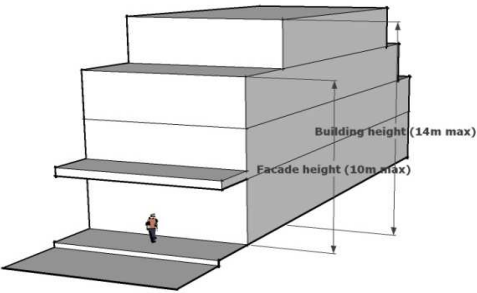
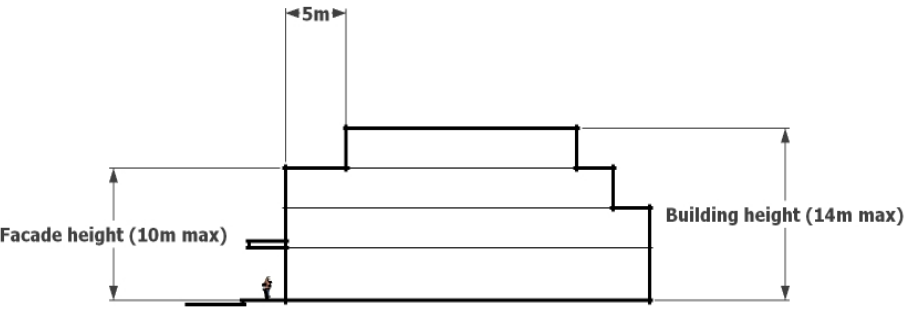
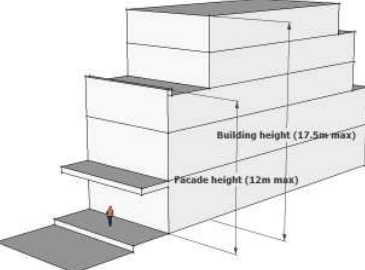
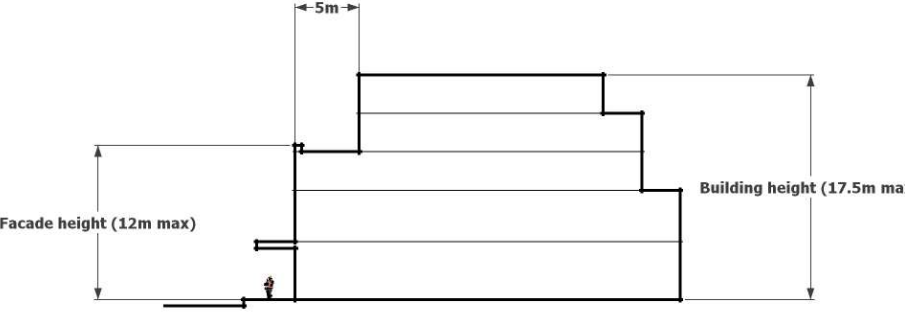
- To encourage the development of an appropriate mix of commercial and higher density residential uses in the Precinct, including the redevelopment of existing railway commuter car parks and the area above the railway line.
- To encourage high quality, contemporary architecture that promotes the Oakleigh MAC.
- To encourage urban design improvements that enhance the existing built form and the public realm.
- To encourage an enhanced pedestrian environment within the Precinct that integrates with the surrounding Precincts, particularly Precinct 1 and the Oakleigh Railway Station and Bus Interchange area.
- To preserve the southward view from the Warrigal Road overpass to the Sacred Heart Church.

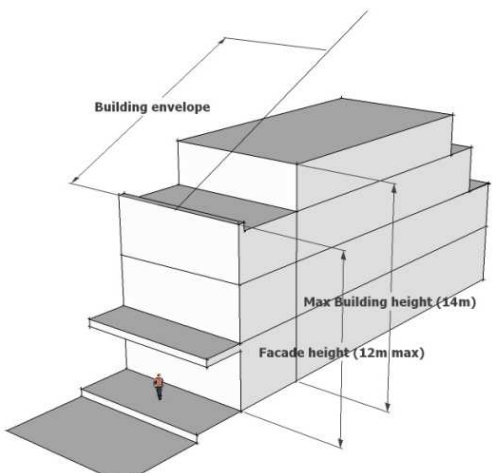
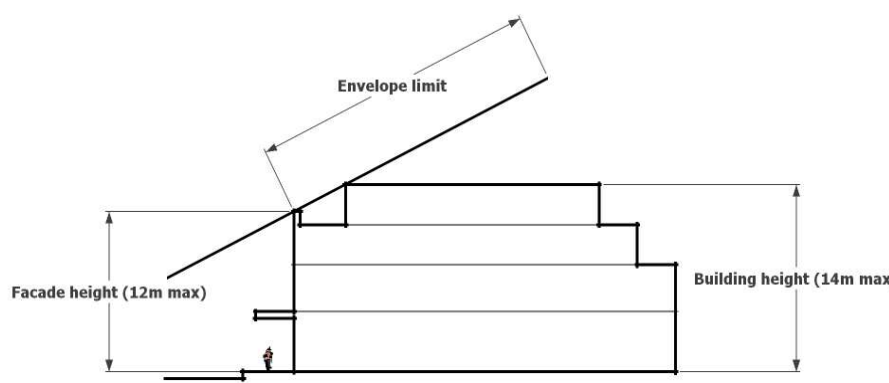
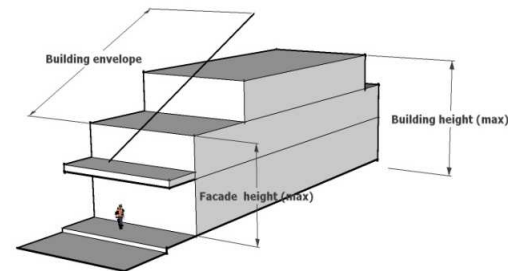
Precinct Requirements

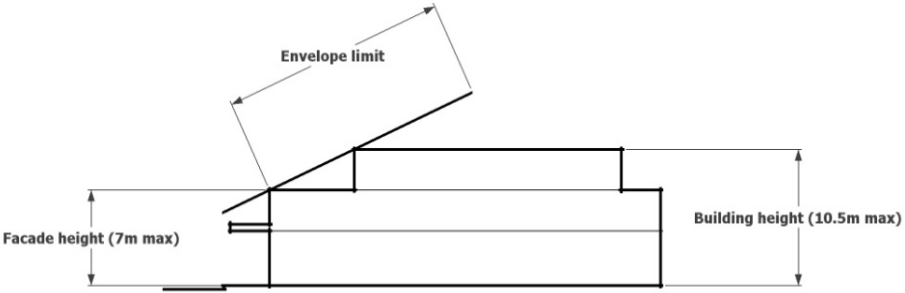
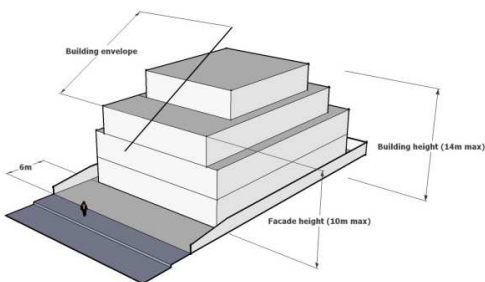
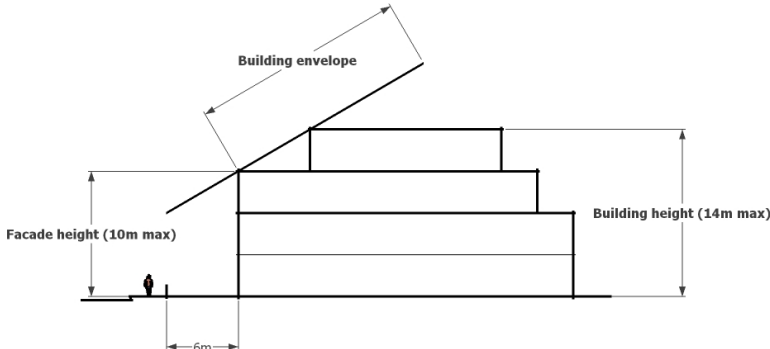
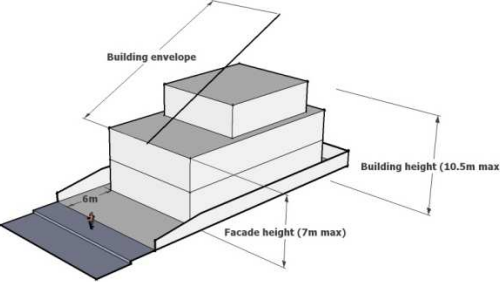
Sub-Precinct	Preferred Setbacks	Preferred Building Height
3A	<p>Zero street setback up to a façade height of 12 metres.</p> <p>5 metre setback behind the facade above 12 metres height.</p>	<p>Street facades up to 12 metres at the street alignment and a height of up to 28.0 metres (8 storeys).</p> 

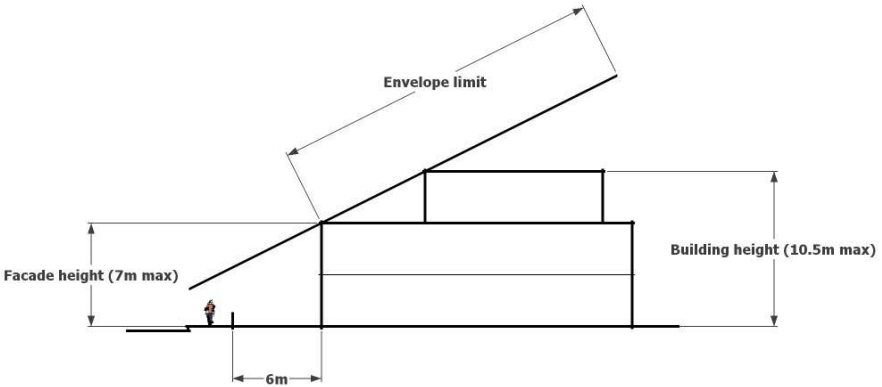
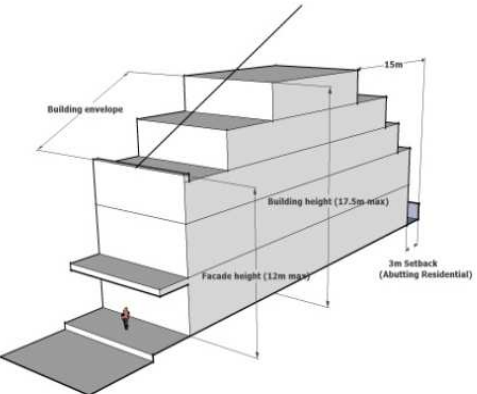
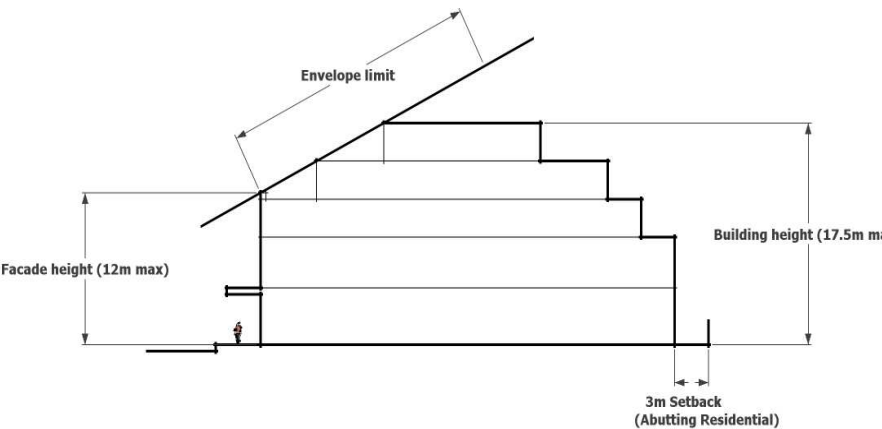
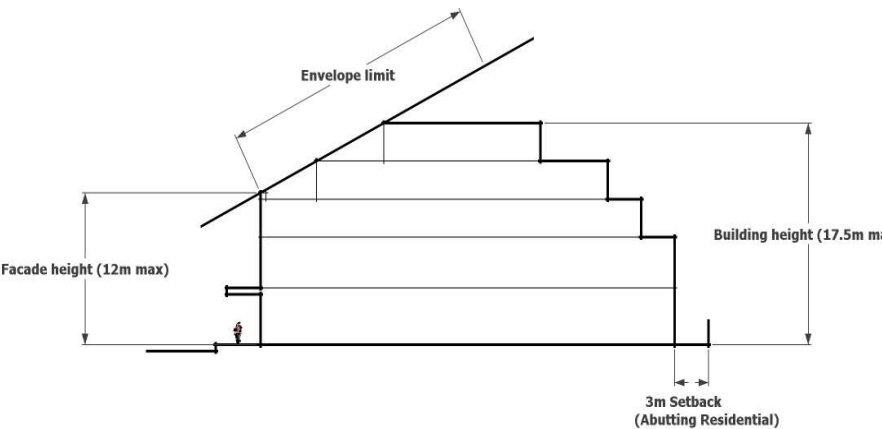
Sub-Precinct	Preferred Setbacks	Preferred Building Height
		
<p>3B</p>	<p><u>Atherton Road</u></p> <p>Zero street setback up to a façade height of 12 metres.</p> <p>5 metre setback behind the facade above 12 metres height.</p> <p>3 metre minimum setback from the boundary of abutting residential uses.</p> <p>Upper levels appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p><u>Atherton Road</u></p> <p>Street facade up to 12 metres at the street alignment and a building height up to 17.5 metres (5 storeys).</p> 
		
	<p><u>Hanover Street</u></p> <p>Zero street setback up to a façade height of 12 metres.</p> <p>5 metre setback behind the facade above 12 metres height.</p> <p>Upper levels appropriately recessed and stepped back from abutting uses providing a transition in built scale.</p>	<p><u>Hanover Street</u></p> <p>Street facade up to 12 metres at the street alignment and a building height up to 24.5 metres (7 storeys)</p>

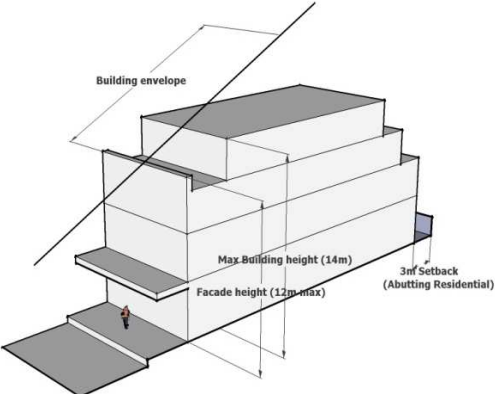
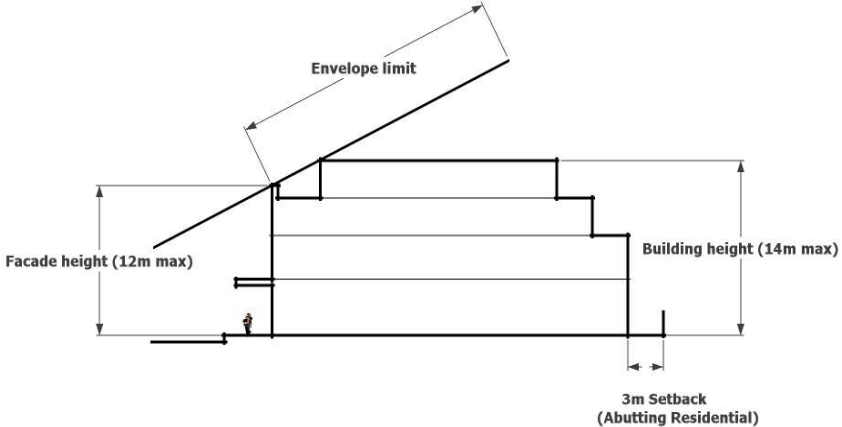
Sub-Precinct	Preferred Setbacks	Preferred Building Height
		
		
	<p>Oxford Street</p> <p>3 metre landscaped front setback: or 6 metre landscaped front setback opposite sub-precinct 4C.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the facade limit until the building height for the site is reached.</p>	<p>Oxford Street</p> <p>A front façade of 7.0 metres and a building height up to 10.5 metres (3 storeys).</p> 
		

Sub-Precinct	Preferred Setbacks	Preferred Building Height
	<p><u>Any other site</u></p> <p>Zero street setback up to a façade height of 10 metres.</p> <p>5 metre setback behind the facade above 10 metres height.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p><u>Any other site</u></p> <p>Street façade up to 10 metres at the street alignment and a building height up to 14.0 metres (4 storeys).</p> 
		
3C	<p><u>Land between Haughton Rd, Mill Rd & Johnson St.</u></p> <p>Zero street setback up to a façade height of 12 metres.</p> <p>5 metre setback behind the facade above 12 metres height.</p>	<p><u>Land between Haughton Rd, Mill Rd & Johnson St.</u></p> <p>Street facades up to 12 metres at the street alignment and a building height up to 17.5 metres (5 storeys).</p> 
		
	<p><u>14 Mill Road & 24-28 Haughton Road</u></p> <p>Zero street setback up to a façade</p>	<p><u>14 Mill Road & 24-28 Haughton Road</u></p> <p>Street facades of 12 metres at the street alignment and a building height up to 14.0</p>

Sub-Precinct	Preferred Setbacks	Preferred Building Height
	<p>height of 12 metres.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p>metres (4 storeys)</p> 
		
	<p><u>19 Mora Ave & 30-30A Haughton Rd</u></p> <p>Zero street setback up to a façade height of 12 metres.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p><u>19 Mora Ave & 30-30A Haughton Rd</u></p> <p>Front façade of 7.0 metres and a building height up to 10.5 metres (3 storeys).</p> 

Sub-Precinct	Preferred Setbacks	Preferred Building Height
	 <p>2-12 Mill Road & 16-20 Johnson Street</p> <p>6 metre landscaped front setback.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p>2-12 Mill Road & 16-20 Johnson Street</p> <p>Street facades of 10 metres at the street alignment and a building height up to 14.0 metres (4 storeys)</p> 
		
	<p>1-17 Mora Avenue & 22-26 Johnson Street</p> <p>6 metre landscaped front setback.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p>1-17 Mora Avenue & 22-26 Johnson Street</p> <p>Front façade of 7.0 metres and a building height up to 10.5 metres (3 storeys).</p> 

Sub-Precinct	Preferred Setbacks	Preferred Building Height
		
<p>3D</p>	<p><u>37-41 Warrigal Road</u></p> <p>Zero street setback up to façade height of 12 metres.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>3 metre minimum setback from the west boundary abutting residential use.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p> <p>12 metres setback from the rear (west) boundary for development above 14 metres (4 storey).</p>	<p><u>37-41 Warrigal Road</u></p> <p>Street facades of 12 metres at the street alignment and a building height up to 17.5 metres (5 storeys)</p> 
		
	<p><u>All other sites</u></p> <p>Zero street setback up to façade height of 12 metres.</p>	<p><u>All other sites</u></p> <p>Street facades of 12 metres at the street alignment and a building height up to 14.0</p>

Sub-Precinct	Preferred Setbacks	Preferred Building Height
	<p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the facade limit until the building height for the site is reached.</p> <p>3 metre minimum setback from the west boundary abutting residential use.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p>metres (4 storeys)</p> 
		

Building Design

- Active frontages should be provided at street level in Sub-Precinct 3A, north of the railway line, and in Sub-Precinct 3B in Hanover Street, and Atherton Road.
- Verandahs should be provided to break up the vertical scale of the buildings and to enhance pedestrian amenity.
- Plant and equipment should be integrated into the roof space and screened from view.

Access

- New vehicle crossovers should not disrupt the function of the streetscape.
- The number of existing crossovers should be reduced where possible.

Precinct Guidelines

- Development should be contemporary in design, with wall and roof forms modulated to break down the sense of bulk and to provide visual interest at the pedestrian level.
- Development along the western side of Warrigal Road should be more restrained than the eastern side due to the proximity of residential areas immediately to the west.
- A high quality contemporary form, in the round, can be provided to facades that address the Warrigal Road overpass, reflecting the considerable environmental constraints of that roadway.

- Development should address rear lanes to provide alternative frontages.
- New development adjoining residential areas will be sensitively designed so as to be compatible with those residential areas, including the provision of landscape setbacks along street frontages which face those residential areas.
- Redevelopment of the existing railway commuter car parks must ensure that car parking will be replaced without loss of capacity.
- Development should support the upgrade of pedestrian and bicycle paths within the precinct to improve connectivity to Precinct 1 and the Oakleigh Railway Station and Bus Interchange area.
- Development should be designed to enhance and improve to the public realm highlighting community spaces and facilities.

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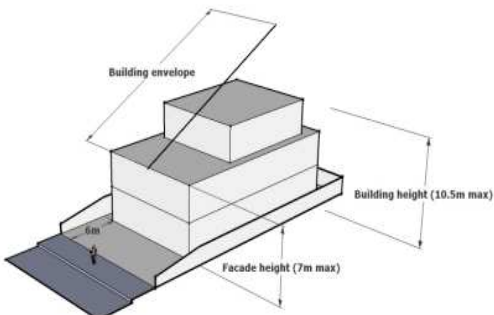
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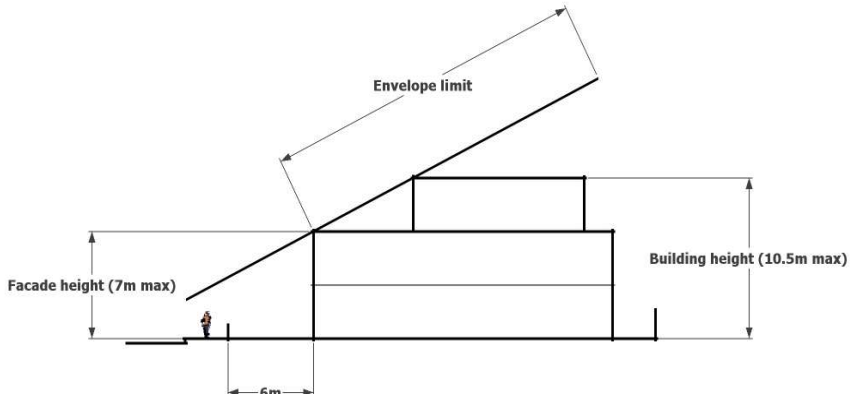
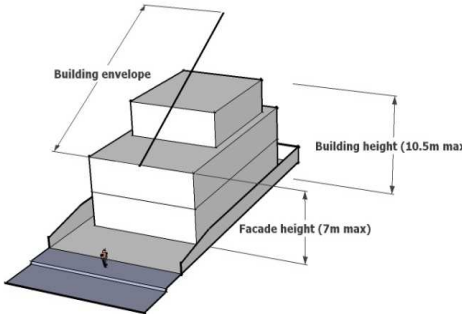
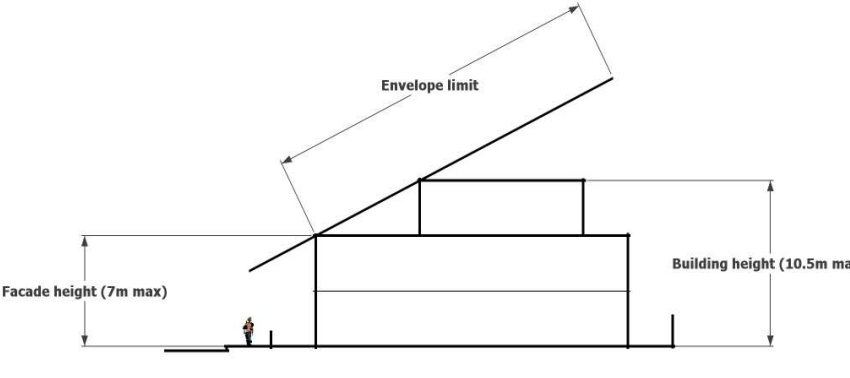
Development within Precinct 4 – Residential Periphery

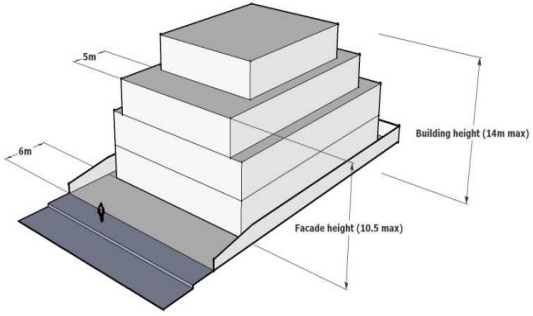
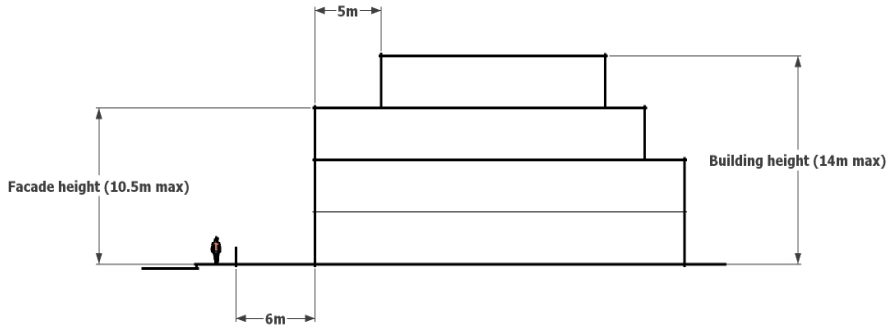
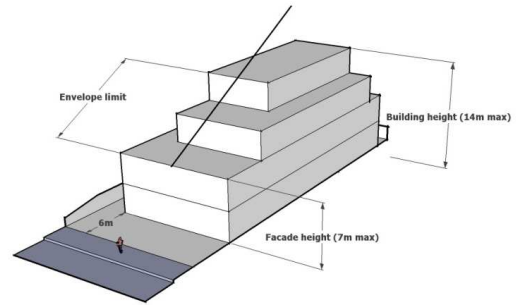
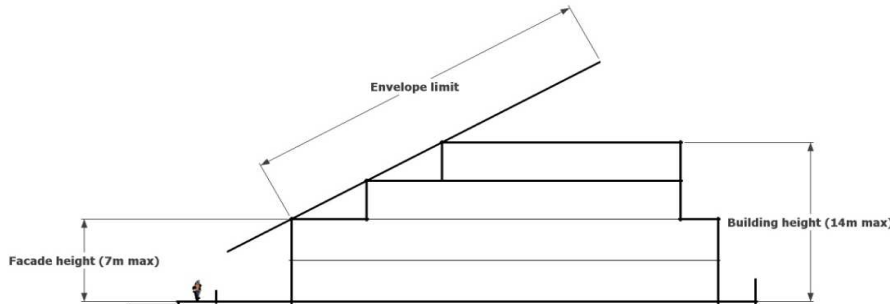
Precinct Objectives

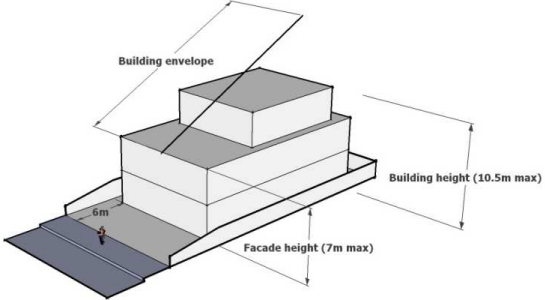
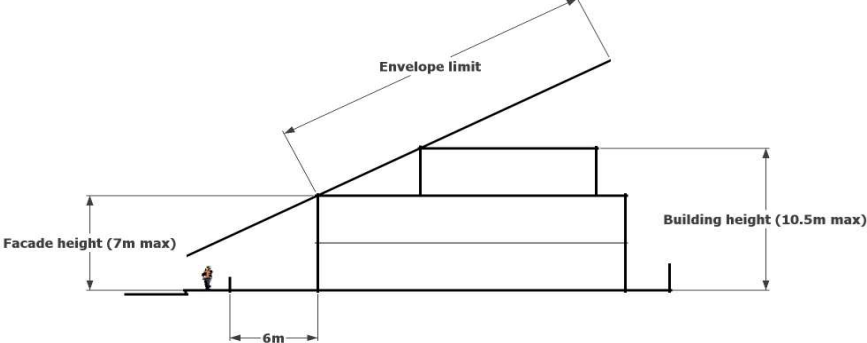
- Provide residential accommodation that increases residential diversity and choice for local residents.
- To create transitional heights around the core of the Activity Centre to protect the amenity in surrounding residential neighbourhoods.
- To encourage higher density development within the Precinct.
- To encourage high standards of architectural design, incorporating environmentally sustainable design principles.

Precinct Requirements

Sub-Precinct	Preferred Street Setbacks	Preferred Building Height
4A & 4C	<p>6 metre landscape front setback.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p>A front façade of 7.0 metres and a building height up to 10.5 metres (3 storeys).</p> 

Sub-Precinct	Preferred Street Setbacks	Preferred Building Height
		
4B	<p>Building front and side setbacks, must be in accordance with the ResCode provisions of the Monash Planning Scheme.</p>	<p>Building envelope and height, must be in accordance with the ResCode provisions of the Monash Planning Scheme.</p> <p>Buildings must provide pitched, hip and/or gable, roof forms.</p>
4D	<p><u>165-171 Kangaroo Rd & 10-12 Earlstown Rd.</u></p> <p>3 metre landscape setback to Kangaroo Road.</p> <p>4 metre landscaped setback to Earlstown Road.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p><u>165-171 Kangaroo Rd & 10-12 Earlstown Rd.</u></p> <p>A front façade of 7.0 metres and a building height up to 10.5 metres (3 storeys).</p> 
		<p><u>173-175 Kangaroo Road</u></p> <p>6 metre landscape front setback.</p> <p>5 metre setback behind the</p> <p><u>173-175 Kangaroo Road</u></p> <p>Street facades of 10.5 metres and a building height up to 14.0 metres (4 storeys)</p>

Sub-Precinct	Preferred Street Setbacks	Preferred Building Height
	<p>facade above 10.5 metres height.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	
		
4E	<p><u>29-31 Swindon Road</u></p> <p>6 metre landscape front setback.</p> <p>Upper levels setback from the facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	<p><u>29-31 Swindon Road</u></p> <p>A front façade of 7.0 metres and a building height up to 14.0 metres (4 storeys).</p> 
		
	<p><u>Any other site</u></p> <p>6 metre landscape front setback.</p> <p>Upper levels setback from the</p>	<p><u>Any other site</u></p> <p>A front façade of 7.0 metres and a building height up to 10.5 metres (3 storeys).</p>

Sub-Precinct	Preferred Street Setbacks	Preferred Building Height
	<p>facade, 2 metres for every 1 metre of building height above the façade limit until the building height for the site is reached.</p> <p>Upper levels should be appropriately recessed and stepped back from abutting residential uses providing a transition in built scale.</p>	
		

Building Design

- In Sub-Precinct 4B buildings must provide pitched, hip and/or gable, roof forms.

Precinct Guidelines

- Development should recognise and respect any heritage places located adjacent to the Precinct.
- Development should provide a high level of amenity, including privacy for occupants and neighbours, high quality private and public open space, canopy tree cover and effective management of parking.
- For sites which are located on the edge of the activity centre, new development should be designed to provide a transition in scale between the built form within the activity centre and the residentially zoned land outside the activity centre.

Other Requirements

- Support the consolidation of sites to provide for greater development opportunities within the Precinct.

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Development within Precinct 5 – Civic and Warrawee Park

Precinct Objectives

- To maintain the Precinct as a consolidated focus for civic, community and recreation facilities and associated activities.
- To retain and enhance the heritage places within the Precinct.

- Encourage an enhanced pedestrian environment within the Precinct.
- Support the continued improvement of the public realm.

Precinct Requirements

Sub Precincts	Preferred Street Setbacks	Preferred Building Height
5A & 5B	Street setbacks to respect existing setbacks.	Minimal change to building height and built form to respect the historical character of the Precinct.

Building Design

Any new development must be sympathetic to the heritage character of the Precinct.

Access

- New vehicle crossovers should not disrupt the function of the streetscape.

Precinct Guidelines

- The existing recreation/open space area should be retained and maintained.
- Any new development must recognise and be sympathetic to the heritage places within the Precinct.
- Building facades and public spaces should reflect the functions of the Precinct.

Other Requirements

- Landscaping along the edges to the park to be in accordance with the Oakleigh Park Masterplan.
- Encourage pedestrian connectivity to Precinct 1.

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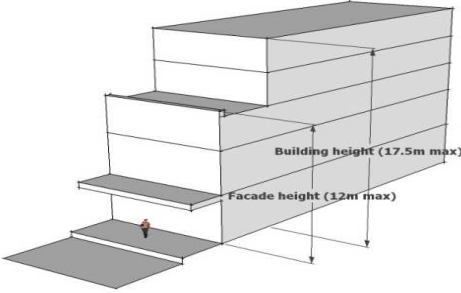
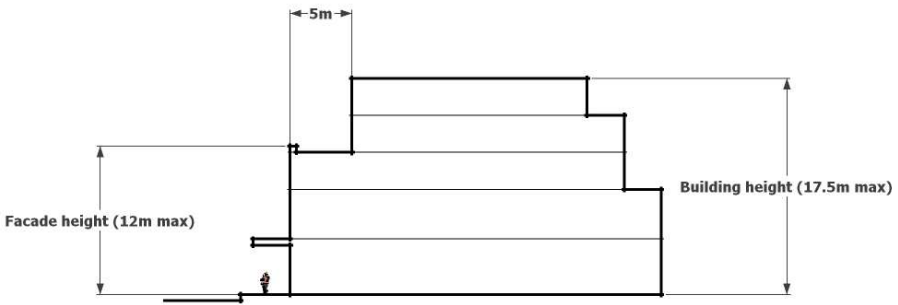
Development within Precinct 6 – Station and Railway Areas

Precinct Objectives

- To encourage the urban design of new development to respect and enhance the existing historic station building.
- Encourage an enhanced pedestrian environment within the Precinct.
- To support the continued improvement of the public realm.

Precinct Requirements

Precinct	Preferred Street Setbacks	Preferred Building Height
6	Zero street setback up to façade height of 12 metres. 5 metre setback behind the facade above 12 metres height.	Street facades up to 12 metres and a building height up to 17.5 metres (5 storeys).

Precinct	Preferred Street Setbacks	Preferred Building Height
		
		

Building Design

- Create good street architecture with articulated facades, fenestration, parapets, detailing and materials that give a sense of human scale and interest to the street.
- Plant and equipment should be integrated into the roof space and screened from view.

Precinct Guidelines

- To encourage development spanning over the station and railway line to connect development in Precincts 1 & 2 with Sub-Precinct 3C.
- Provide active frontages at ground level and overlooking windows at levels above ground floor, along all streets and where buildings front on to pedestrian spaces.
- Building facades and public spaces should reflect the Precinct’s function.
- Long sheer walls of buildings are discouraged.

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Information to be submitted with an application

In addition to other information required to be submitted with an application for a planning permit, applications must be accompanied by the following plans and reports to the satisfaction of the responsible authority:

- A comprehensive planning and urban design analysis addressing the following matters as appropriate:
 - details of how the proposed development responds to the design objectives, design requirements and design outcomes of this schedule
 - three dimensional views of the proposal within the context of surrounding buildings
 - material finishes

- an assessment of any existing buildings on the site of heritage, architectural or cultural significance
 - a description of the predominant neighbourhood and streetscape character and an explanation of how this character has influenced the siting, form, massing and design of the proposed building
 - an assessment of off-site impacts of the proposed building, such as overshadowing and/or overlooking, in particular overshadowing of important public spaces and main streets
 - identification of any opportunities for new landmark structures and how such structures relate to any existing landmarks and important views
 - details of the overall site yield/floor space and an assessment of the effects on services, traffic generation and parking demand
 - how the proposed building and land use engages with and contributes to the activity in the street.
- An assessment of access to and circulation through/around the site for vehicles, pedestrians and cyclists.
 - In the case of new residential development located within or adjacent to a business zone, a report prepared by a suitably qualified acoustic specialist outlining appropriate measures to provide acoustic protection for future residents.

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Subdivision

Applications for subdivision of existing sites that do not support the objectives promoted by this Scheme for the Oakleigh Major Activity Centre are discouraged.

Consolidation of land to facilitate the creation of viable development sites is encouraged.

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Decision Guidelines

- Before deciding on an application, the responsible authority must consider:
- Whether the proposed development achieves the design objectives, design requirements and design outcomes of this schedule.
- The architectural quality and innovative response of the building design.
- The contribution the development makes to urban design and the streetscapes of the area, including pedestrian and public spaces and car parking areas.
- Use of environmentally sustainable design principles and techniques.

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References

Oakleigh Major Activity Centre Structure Plan, City of Monash, 28 August 2012

Background Report – Oakleigh Major Activity Centre Structure Plan, City of Monash, 28 August 2012. Schedule