

19/01/2006  
VC37**SCHEDULE 1 TO THE NEIGHBOURHOOD CHARACTER OVERLAY**Shown on the planning scheme map as **NCO1****HEDGELEY DENE PRECINCT****1.0**19/01/2006  
VC37**Statement of neighbourhood character**

The Hedgeley Dene Precinct (the Precinct) displays a very strong landscape and garden character. This has derived from the establishment of attractive private residential gardens, street trees and the Hedgeley Dene Gardens (the Gardens). An abundance of medium and large sized trees throughout the Precinct are critical elements to this landscape and garden character.

The significance of the area is also attributed to a series of urban character elements that combine to produce an expansive and uninterrupted landscape character. Inconspicuous buildings located within a landscape setting define the neighbourhood character. This allows the landscape to remain the key feature of the Precinct.

The built form elements that generate this character include:

- Unobtrusive buildings through design, articulation, scale, setback, site coverage, location and overall form.
- The presence of single and double storey buildings with low horizontal proportions.
- First floor levels designed in an unobtrusive attic form.
- Building mass directed away from the rear of the site and site boundaries.
- Single car access points with limited driveway and parking areas together with small-scale garages and carports.
- Use of colours, materials and finishes which reflect the natural elements within the Precinct.
- Low front and side fences extending to the dwelling facade.
- Pitched roofs with a multi-faceted low slung form that recede from view.
- A distinct pattern of side and rear setbacks.
- Generous amounts of open space set aside for landscaping, allowing medium to large sized trees to flourish.

The Precinct plays a pivotal role in maintaining the landscape and environmental values of the Hedgeley Dene Gardens. The Gardens edge and its interface with adjoining residential properties and local streets is paramount to these values. Views from the Gardens to tree canopies on private land also enhance its character by extending the perception of the park's depth. Street trees and private landscaping from extensive front gardens along approach routes to the Gardens, channel views towards it, providing a distinct sense of entry to this historic and picturesque park.

The preservation and enhancement of the Hedgeley Dene Gardens and Precinct character is dependent upon ensuring that:

- The built form maintains an inconspicuous profile against the dominant landscape.
- Sufficient open space is set aside to sustain medium to large trees.
- Existing significant vegetation is protected.

Reference: Hedgeley Dene Garden Precinct – Urban Character and Landscape Study (R.G. Harvey and J. Lee) 1998.

**2.0**19/01/2006  
VC37**Neighbourhood character objectives**

- To preserve and enhance the expansive and uninterrupted landscape character of the Precinct.

- To ensure that development presents an inconspicuous profile against the landscape setting, allowing the landscape to remain the key feature of the Precinct.
- To encourage landscaping that will ensure that the landscape character of the Precinct is maintained and enhanced.
- To maintain the prominence of vegetation in the Precinct by retaining established vegetation, particularly medium to large sized canopy trees.
- To retain distant views from Hedgeley Dene Gardens to vegetation canopy in properties within the Precinct.
- To maintain and enhance the character of mature trees and landscaping between residential properties and the Hedgeley Dene Gardens.
- To ensure that the scale, setback, site coverage, location and overall form of development protects and enhances the expansive and uninterrupted landscape character of the Precinct.
- To maintain and enhance the views along the approach routes to the Hedgeley Dene Gardens.
- To ensure that sufficient land is set aside free of buildings and hard surfaces in order to sustain landscaping with medium to large trees.
- To ensure that the scale, setback, site coverage, location and overall form of development protects and enhances the built character of the Precinct and is complementary to existing buildings.
- To encourage the use of colours, materials and finishes in development that reflect the natural elements within the Precinct as well as the rustic character of established buildings in the Precinct.

**3.0**  
19/01/2006  
VC37

**Permit requirement**

A permit is required to:

- Construct an outdoor swimming pool associated with a dwelling.
- Construct or extend an outbuilding normal to a dwelling.
- Remove, destroy or lop a tree.

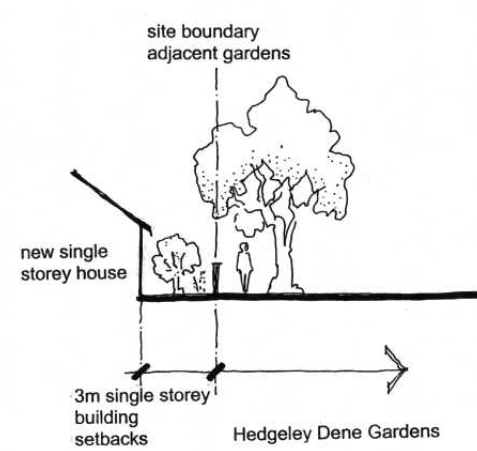
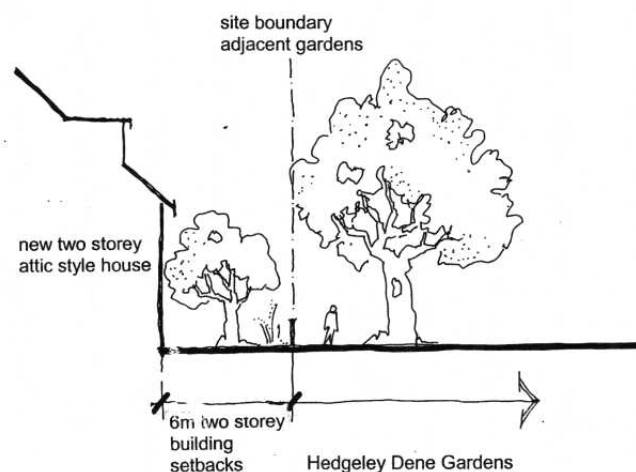
**4.0**  
19/01/2006  
VC37

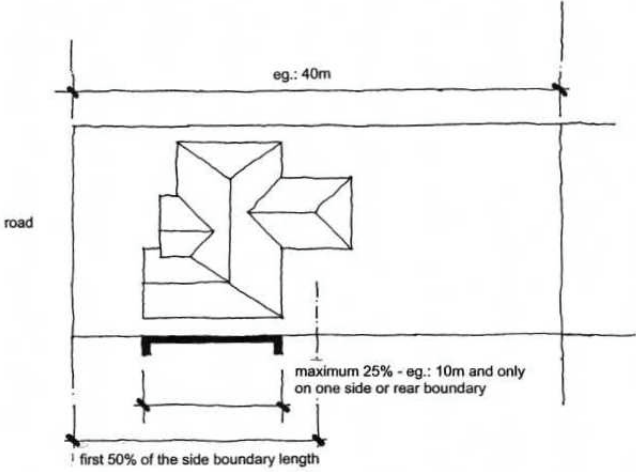
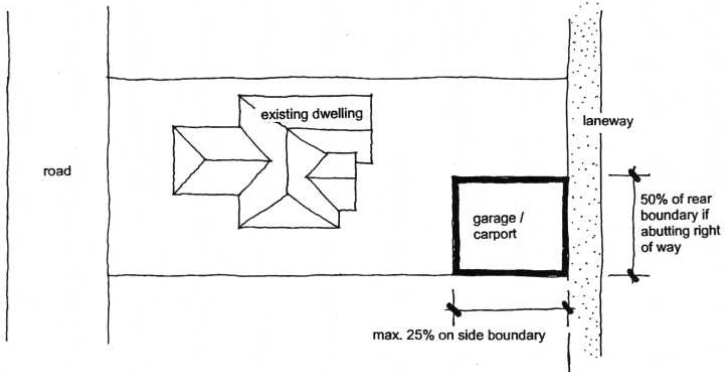
**Modifications to Clause 54 and 55 standards**

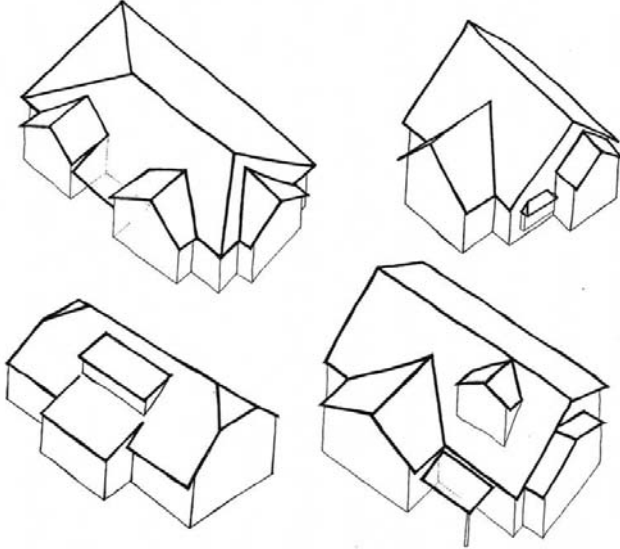
STANDARD	MODIFIED REQUIREMENT		
A3 and B6	<b>STREET SETBACK</b>		
	Walls of buildings should be set back from streets the distance specified in the Street Setback Table below.		
	Street Setback		
	DEVELOPMENT CONTEXT	MINIMUM SETBACK FROM FRONT STREET (METRES)	MINIMUM SETBACK FROM A SIDE STREET (METRES)
	There is an existing building on both the abutting lots facing the same street, and the site is not on a corner.	The average distance of the setbacks from the front boundary to the existing dwelling facade on the abutting lots facing the front street or 9 metres if the average distance of the setbacks is less than 9 metres.	Not applicable

STONNINGTON PLANNING SCHEME

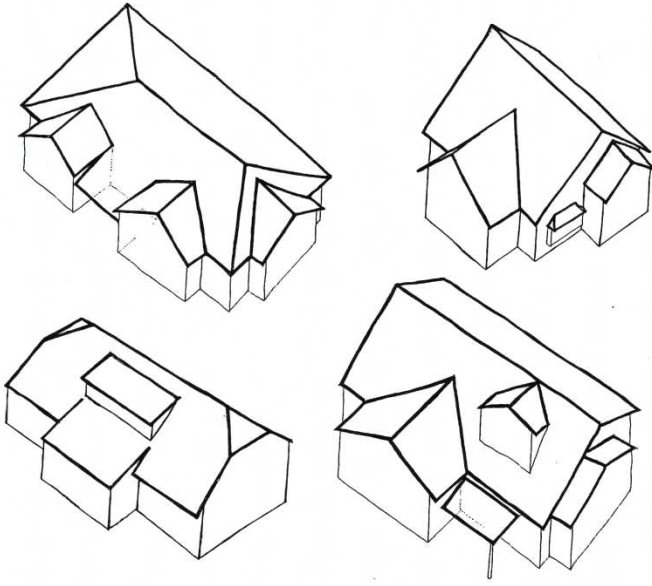
STANDARD	MODIFIED REQUIREMENT		
<p><b>A3 and B6</b> <i>(continued)</i></p>	<p>There is an existing building on one abutting lot facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.</p>	<p>The same distance as the setback from the front boundary to the existing dwelling facade on the abutting lot facing the front street or 9 metres if the setback is less than 9 metres.</p>	<p>Not applicable</p>
	<p>There is no existing building on either of the abutting lot facing the same street, and the site is not on a corner.</p>	<p>9 metres</p>	<p>Not applicable</p>
	<p>The site is on a corner.</p>	<p>If there is a building on the abutting lot facing the front street, the same distance as the setback from the front boundary to the dwelling facade on the abutting lot facing the front street or 9 metres if there is no building on the abutting allotment facing the front street.</p>	<p>The same distance as the setback from the front boundary to the dwelling facade of any existing building on the abutting lot facing the side street or 3 metres if there is no building on the abutting lot.</p>
	<p>The site has a side boundary abutting the Hedgeley Dene Gardens.</p>	<p>The same distance as the setback from the front boundary to the existing dwelling facade on the site. If the existing building on the site has been demolished, the setback from the front boundary to the dwelling facade should be the same as the original building on the site.</p>	<p>Not applicable</p>
<p><b>A5 and B8</b></p>	<p><b>SITE COVERAGE</b> The site area covered by buildings should not exceed 50 per cent.</p>		
<p><b>A8</b></p>	<p><b>SIGNIFICANT TREES</b> Development should provide for the retention of existing trees and vegetation and planting of new medium sized to large trees. At least 35 per cent of the lot should not be covered by buildings or impervious surfaces including driveways, paving, swimming pools or tennis courts. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p>		
<p><b>A10 and B17</b></p>	<p><b>SIDE AND REAR SETBACKS</b> A new building not on or within 150mm of a boundary should be set back from side or rear boundaries 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. New buildings should be set back either 3 metres for single storey development or 6 metres for two or more storey development from the boundary abutting the Hedgeley Dene Gardens or a laneway or walkway abutting the Hedgeley Dene Gardens.</p>		

STANDARD	MODIFIED REQUIREMENT
<p><b>A10 and B17</b> (continued)</p>	<p><b>Single storey development abutting the Hedgeley Dene Gardens</b></p>  <p><b>Double storey development abutting the Hedgeley Dene Gardens</b></p>  <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p>
<p><b>A11 and B18</b></p>	<p><b>WALLS ON BOUNDARIES</b></p> <p><i>Length of walls on boundaries</i></p> <p>A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than:</p> <ul style="list-style-type: none"> <li>▪ 25 per cent,</li> <li>or</li> <li>▪ 50 per cent on the rear boundary if it is abutting a right of way.</li> </ul> <p><i>Location of walls on boundaries</i></p> <p>A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut more than:</p> <ul style="list-style-type: none"> <li>▪ one side or the rear boundary,</li> <li>or</li> </ul>

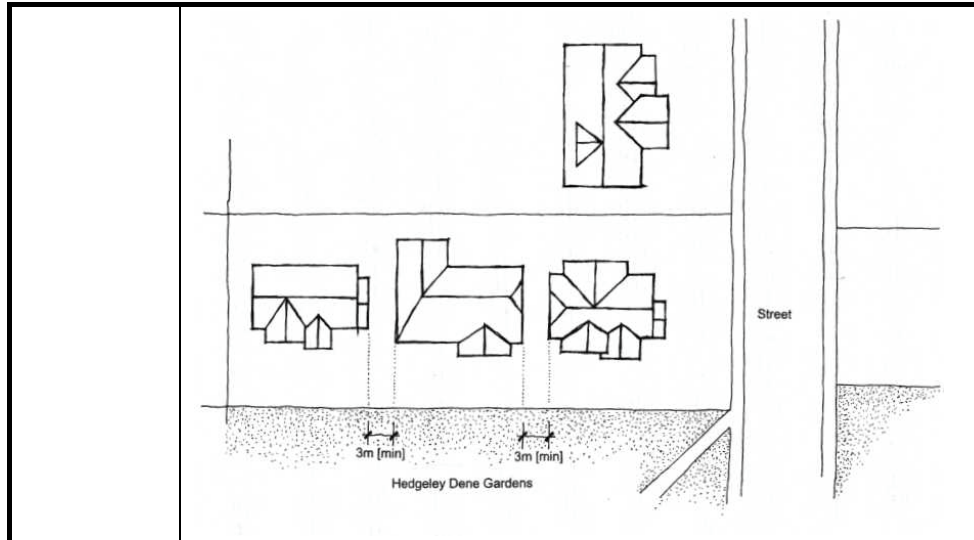
STANDARD	MODIFIED REQUIREMENT
<p><b>A11 and B18</b> (continued)</p>	<ul style="list-style-type: none"> <li>one side and the rear boundary if the building is a garage or a carport and is abutting a right of way.</li> </ul> <p>Side boundary walls should be located within the first 50 per cent of the boundary length measured from the front boundary.</p> <p>No new walls should be constructed on any boundary that abuts the Hedgeley Dene Gardens.</p> <p><b>Walls on side boundaries</b></p>  <p><b>Garages and carports adjacent to right of ways</b></p>  <p><b>Height of walls on boundaries</b></p> <p>The height of a new wall constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>
<p><b>A19</b></p>	<p><b>DESIGN DETAIL</b></p> <p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>Building massing,</li> <li>The number of storeys,</li> <li>Colours, materials and finishes,</li> <li>Facade articulation and detailing,</li> <li>Window and door proportions,</li> <li>Roof pitch and form,</li> <li>Verandahs, eaves and parapets, and</li> </ul>

STANDARD	MODIFIED REQUIREMENT
<p><b>A19</b> <i>(continued)</i></p>	<ul style="list-style-type: none"> <li>▪ Building spacing, should respect the neighbourhood character.</li> </ul> <p><b>Number of Storeys</b> Development should not exceed two storeys in height. Where two storeys high, development should preferably be in the form of an attic storey. Two storey development should not be located in the rear 50 per cent of the site unless the site abuts a right of way or another street.</p> <p><b>Colours, Materials &amp; Finishes</b> Colours, materials and finishes should follow the existing character of:</p> <ul style="list-style-type: none"> <li>▪ Buildings in natural textured materials such as red or clinker brick, timber weatherboards, rough cast render and timber shingles in muted, earthy colours as opposed to bright colours.</li> <li>▪ Roofing materials of terra cotta, concrete or slate tiles as opposed to corrugated iron and colorbond.</li> <li>▪ Fences constructed of brick (matching the dwelling), natural stone, tea tree pickets, woven wire and timber in muted, earthy colours.</li> </ul> <p><b>Facade Articulation &amp; Detailing</b> Development should be articulated with informal, rather than symmetrically composed arrangements of elements such as windows, verandahs and chimneys.</p> <p><b>Roof Pitch &amp; Form</b> Roofs should be designed to:</p> <ul style="list-style-type: none"> <li>▪ Have a minimum pitch of 25 degrees and a maximum pitch of 45 degrees.</li> <li>▪ Be multi faceted with low slung form, either gable or hip, avoiding large single direction spans.</li> </ul> <p><b>Roof form</b></p>  <p><b>Garages and Carports</b> Garages and carports should be visually compatible with the development and the neighbourhood character.</p>

STANDARD	MODIFIED REQUIREMENT
<p><b>A20 and B32</b></p>	<p><b>FRONT FENCES</b></p> <p>The design of front fences should complement the design of the building and the built form character of the Precinct.</p> <p>A front fence within 3 metres of a street should not exceed a height of 1.2 metres.</p>
<p><b>B13</b></p>	<p><b>LANDSCAPING</b></p> <p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>▪ Protect any predominant landscape features of the neighbourhood.</li> <li>▪ Take into account the soil type and drainage patterns of the site.</li> <li>▪ Allow for intended vegetation growth and structural protection of buildings.</li> <li>▪ In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>▪ Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention of existing trees and vegetation and planting of new medium sized to large trees.</p> <p>At least 35% of the lot should not be covered by buildings or impervious surfaces including driveways, paving, swimming pools or tennis courts.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p>
<p><b>B31</b></p>	<p><b>DESIGN DETAIL</b></p> <p>The design of buildings including:</p> <ul style="list-style-type: none"> <li>▪ Building massing,</li> <li>▪ The number of storeys,</li> <li>▪ Colours, materials and finishes,</li> <li>▪ Facade articulation and detailing,</li> <li>▪ Window and door proportions,</li> <li>▪ Roof pitch and form,</li> <li>▪ Verandahs, eaves and parapets, and</li> <li>▪ Building spacing,</li> </ul> <p>should respect the neighbourhood character.</p> <p><b>Number of Storeys</b></p> <p>New development should not exceed two storeys in height.</p> <p>Where two storeys high, development should preferably be in the form of an attic storey.</p> <p>Two storey development should not be located in the rear 50 per cent of the site unless the site abuts a right of way or another street.</p> <p>Multi-dwelling development abutting the Hedgeley Dene Gardens should be single storey or comprise a mix of single and two storey forms.</p> <p><b>Colours, Materials &amp; Finishes</b></p> <p>Colours, materials and finishes should follow the existing character of:</p> <ul style="list-style-type: none"> <li>▪ Buildings in natural textured materials such as red or clinker brick, timber weatherboards, rough cast render and timber shingles in muted, earthy colours as opposed to bright colours.</li> <li>▪ Roofing materials of terra cotta, concrete or slate tiles (as opposed to corrugated iron and colorbond).</li> <li>▪ Fences constructed of brick (matching the dwelling), natural stone, tea tree pickets, woven wire and timber in muted, earthy colours.</li> </ul>

STANDARD	MODIFIED REQUIREMENT
<p><b>B31</b> <i>(continued)</i></p>	<p><b>Facade Articulation &amp; Detailing</b> Development should be articulated with informal, rather than symmetrically composed arrangements of elements such as windows, verandahs and chimneys.</p> <p><b>Roof Pitch &amp; Form</b> Roofs in new development should be designed to:</p> <ul style="list-style-type: none"> <li>▪ Have a minimum pitch of 25 degrees and a maximum pitch of 45 degrees.</li> <li>▪ Be multi faceted with low slung form, either gable or hip, avoiding large single direction spans.</li> </ul> <p><b>Roof form</b></p>  <p><b>Garages and Carports</b> Garages and carports should be visually compatible with the development and the neighbourhood character.</p> <p><b>Building Spacing</b> Multi-dwelling development abutting the Hedgeley Dene Gardens should provide a 3 metres setback between each building on the same allotment.</p> <p><b>Building spacing on sites abutting the Hedgeley Dene Gardens</b></p>





**5.0**

19/01/2006  
VC37

**Decision guidelines**

Before deciding on an application, in addition to the decision guidelines listed at Clause 43.05-5, the responsible authority must consider, as appropriate:

- The size, species, age and health of existing vegetation proposed to be removed, destroyed or lopped and the size, species and growth characteristics of any proposed replacement vegetation.
- The reasons for removing the tree and the practicalities of alternative options that do not require removal of any trees.
- The effect of constructing a building or constructing or carrying out works on the root system, canopy and overall appearance of any trees.