

04/12/2014  
C72**SCHEDULE 5 TO THE SPECIAL USE ZONE**Shown on the planning scheme map as **SUZ5****FIREBRACE ROAD GROUP ACCOMMODATION AREA****Purpose**

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To implement the long term transition of this area from Industrial 1 Zone to predominantly residential and tourism, while not compromising all industrial operations operating from 63-97 Firebrace Road (see map 1) in the short to medium term.

To provide land for workers' accommodation to primarily support nearby industry

To protect nearby industrial activities from any adverse impact due to encroachment of new accommodation use or development, by requiring suitable setbacks, landscape buffers, building location and design.

To provide direct links to the adjacent Rail Trail.

To provide a high level of amenity through a well landscaped setback from the adjoining Industrial 1 Zone.

**1.0**04/12/2014  
C72**Table of uses****Section 1 - Permit not required**

<b>Use</b>	<b>Condition</b>
<b>Informal outdoor recreation</b>	
<b>Minor utility installation</b>	
<b>Any use listed in Clause 62.01</b>	Must meet the requirements of Clause 62.01.

**Section 2 - Permit required**

<b>Use</b>	<b>Condition</b>
<b>Accommodation (other than Dependent person's unit )</b>	Must be outside the threshold distance (pursuant to Clause 52.10) from all industrial operations operating from 63-97 Firebrace Road (see map 1).
<b>Caretaker's house</b>	Must be within 50 metres measured from the eastern boundary of the zone, when inside the threshold distance (pursuant to Clause 52.10) from all industrial operations operating from 63-97 Firebrace Road (see map 1).
<b>Convenience shop</b>	
<b>Dependent person's unit</b>	Must be the only dependent person's unit on the lot  Must be outside the threshold distance (pursuant to Clause 52.10) from all industrial operations operating from 63-97 Firebrace Road (see map 1).

Use	Condition
<b>Group Accommodation</b>	<p>Must be used in conjunction with Timber Production, Timber Yard, Agriculture, Rural Industry, or Winery, when inside the threshold distance (pursuant to Clause 52.10) from all industrial operations operating from 63-97 Firebrace Road (see map 1).</p> <p>Must be no more than 6 dwellings, when inside the threshold distance (pursuant to Clause 52.10) from all industrial operations operating from 63-97 Firebrace Road (see map 1).</p> <p>Must be within 50 metres measured from the eastern boundary of the zone, when inside the threshold distance (pursuant to Clause 52.10) from all industrial operations operating from 63-97 Firebrace Road (see map 1).</p>

**Place of assembly (other than Amusement parlour, Carnival, Circus and Nightclub)**

**Leisure and recreation (other than Informal outdoor recreation and Motor racing track)**

**Utility installation (including Minor utility installation)**

**Any use in Section 1 when a condition is not met**

### Section 3 - Prohibited

Use
<b>Agriculture</b>
<b>Amusement parlour</b>
<b>Brothel</b>
<b>Industry</b>
<b>Motor racing track</b>
<b>Nightclub</b>
<b>Warehouse</b>
<b>Any use in Section 2 when a condition is not met</b>

## 2.0

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### Use of land

#### Application requirements

An application to use land for any use listed in Section 2 must be accompanied by the following information, as appropriate:

- The purpose of the use.
- How land not required for immediate use is to be maintained.
- The likely effects, if any, on the neighbourhood, including:
  - Noise levels.

- Traffic, including the hours of delivery and despatch.

**3.0**04/12/2014  
C72**Subdivision**

Each lot must be connected to reticulated supply of water, electricity, reticulated sewerage and a drainage system.

Each lot must have access to a road constructed to the requirements of the Responsible Authority.

**Application requirements**

An application for subdivision must demonstrate that that the lot size and configuration has regard to the land use requirements and the purpose of the zone.

An application must include a drainage plan to the satisfaction of the Responsible Authority and relevant Catchment Management Authority.

**4.0**04/12/2014  
C72**Buildings and works**

A permit is required to construct a building or construct or carry out works.

**Application requirements**

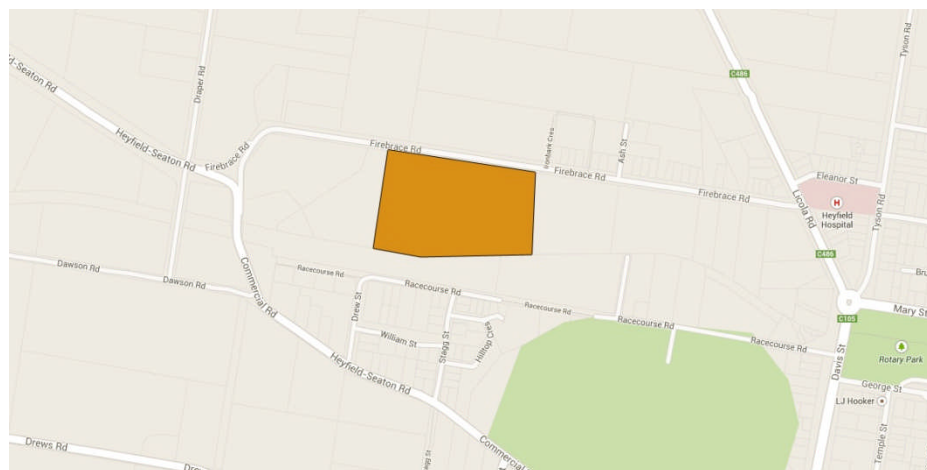
An application to construct a building or construct or carry out works must include:

- A Site Analysis, which must show the boundaries and dimensions of the site, relevant ground levels, the location and cross section of adjoining roads, the location of any existing vegetation, drainage lines, water features, retarding basins and flood ways, sites of biological, heritage or archaeological significance, sites that are potentially contaminated and any other relevant features.
- A plan, drawn to scale, which:
  - Is responsive to the features identified in the Site Analysis.
  - Has regard to the purpose of the zone and adjoining uses.
  - Contains details of required buffer treatment where measures are necessary to protect the amenity and surrounding properties and the safety of the public.
  - Includes the location, height and purpose of existing and proposed buildings and works.
  - Shows driveway, access, parking areas and any loading areas, including a Parking and Access management plan.
  - Includes elevations of all buildings indicating materials, finishes and colours;
  - Details of the existing and proposed landscaping, along with a Vegetation Management Plan to explain how the existing and proposed landscaping will be maintained.
  - Shows the external storage.
  - Includes the drainage discharge plan.
- A Sustainability Management Plan which outlines the sustainable building and design techniques proposed. The plan must provide for but is not limited to energy use and efficiency, waste management, water conservation and reuse.
- Other details as required by the Responsible Authority.

**5.0**04/12/2014  
C72**Decision guidelines**

Before deciding on an application to use or subdivide land or to construct a building or carry out works, in addition to the decision guidelines in Clause 65, the responsible authority must be satisfied that the plan has regard to the following information:

- Structure plans, policy, strategy or guidelines adopted by the Responsible Authority that relate to the subject land.
- SEPA principles of healthy urban design – refer to the Healthy by Design Guidelines.
- The applicable State Protection Policy or relevant guidelines of the Environment Protection Authority.
- The purpose of the zone.
- The longer term vision for Firebrace Road (as set out in Clause 21.04 - Settlement) and whether the development supports the transition of this area, while protecting all industrial operations operating from 63–97 Firebrace Road (see map 1) and the amenity of sensitive activities in the short to medium term.
- The nature of the proposed use and its proximity to existing industrial activities and the effect these industries may have on the proposed use.
- The provision of building setbacks and landscaping.
- The ability of the activity to be appropriately serviced.
- The effect of traffic likely to be generated on roads.
- The interim use of those parts of the land not required for the proposed use.
- The interface and connectivity with adjoining existing and future areas.
- The storage of rubbish and materials for recycling.



*Map 1: Location of Industrial Operations at 63-73 & 75-97 Firebrace Road, Heyfield*