

20/09/2019
C124fran**SCHEDULE 12 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO12**.

FRANKSTON METROPOLITAN ACTIVITY CENTRE PRECINCTS 4 AND 7 – RESIDENTIAL GROWTH AREAS**1.0**20/09/2019
C124fran**Design objectives**

Ensure the height, setbacks and design of new development is consistent with the objectives of the *Built form Guidelines for Higher Density Residential Growth Areas, Frankston Metropolitan Activity Centre, Precincts 4 and 7, July 2018*.

Encourage higher density residential development and a variety of dwelling types that integrate successfully with the public realm.

Ensure new buildings respect the sharing of amenity for current and future residential development on adjoining sites.

Encourage open, landscaped street frontages and activated building interfaces that promote surveillance of adjoining streets.

Encourage site responsive, high quality and contemporary design of new dwellings.

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C124fran**Buildings and works**

A permit is not required to:

- Construct a building or construct or carry out works associated with one dwelling on a lot.

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- Residential building heights should be constructed to a preferred maximum height of 13.5 metres.
- A minimum of one 4.5 metre wide deep soil zone should be provided adjacent to one side boundary on a single lot and two side boundaries on consolidated lots for a minimum of 4.5 metres in length. Side boundary deep soil zones are not to encroach into the front street setback areas (see Figures 1 and 2).
- Buildings on single lots should be setback by at least 1 metre from each side boundary for the first 5 metres of the buildings that front to the street (see Figure 1).
- Buildings on consolidated lots should be setback by at least 3 metres to one side boundary and at least 1 metre to the other side boundary for the first 5 metres of the buildings that front to the street (see Figure 2).

Figure 1

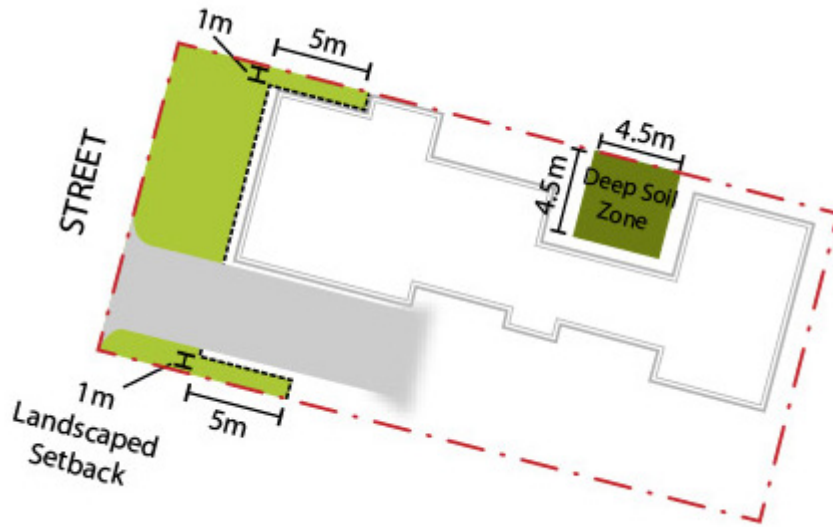


Figure 2



- Walls on boundaries are permitted provided they are setback 5 metres from the front wall of the buildings that front to the street.
- For buildings of more than two storeys above natural ground level, the wall/s of the storey/s above the second storey should be setback from the wall/s of the storey below a minimum of 2.5 metres along the front and rear elevations. Balconies may encroach into this setback.
- Rear setbacks at ground level should be at least 4.5 metres where they adjoin land in a residential zone. Where there is an adjoining industrial or commercial use the building should be setback

in accordance with ResCode provisions at Clause 55.04-1. Separation between buildings should utilise a 9 metre distance where possible to avoid overlooking between habitable rooms.

- Building facades should be articulated through the design of openings, balconies, varied materials, recessed and projected elements, and revealing structural elements such as columns and beams. Lighter and less detailed materials should generally be used on upper levels.
- Habitable room windows should be located on street facing facades.
- Habitable rooms should have a window facing an outdoor space open to the sky.
- Minimise the screening of windows, but where screening is necessary provide a mix of screening treatments and strategically place windows to avoid the need for screening.
- Building entries should directly front the street and be clearly defined and legible from the public realm.
- Articulate or divide roof forms into distinct sections in order to minimise visual bulk.
- Encourage screening of a basement or semi-basement parking from the street.
- At grade car parking areas should be located away from street interfaces and not within front setbacks. Landscaping should be incorporated within at grade car parking areas.
- Garages facing the street should be avoided.
- Utilities and services should not be located within the street frontage and should be screened.
- A minimum of 30% of the site area should be permeable unless on-site stormwater run-off is managed through alternative methods such as green roofs, raingardens and on-site bio-retention, to the satisfaction of the responsible Authority.
- Roof decks and their associated structures should not exceed the preferred building height specified in this schedule.
- A roof deck should:
 - Be designed and constructed of materials that integrate with the architectural style and form of the building.
 - Not include any permanent or moveable structure or element that will increase the visual bulk of the building, including pergolas, verandahs, shelters and storage areas.
 - Be setback on all sides at least 2 metres from the roof edge of the storey immediately below to minimise visual impact on all elevations.
 - Be designed to limit views into secluded private open space and habitable room windows of adjacent dwellings.
 - Be accessed by a structure that is designed and located to have minimal visual impact on all elevations, does not enclose any usable floor space and does not exceed 2.4 metres in height (measured from floor level at the point of access onto the roof deck).
 - Be constructed so that the deck floor level is no greater than 1 metre above the lower ceiling face of the storey immediately below.

3.0

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Subdivision

None specified.

4.0

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Signs

None specified.

5.0

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Application requirements

None specified.

6.0

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Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The impact of the any variation to the preferred building height specified in Section 2.0 of this Schedule with regards to the visual bulk, streetscape, solar access, overshadowing and overlooking.
- Whether development is consistent with the Built Form Guidelines for Higher Density Residential Growth Areas, Frankston Metropolitan Activity Centre, Precincts 4 and 7, July 2018.
- Building setback and building form and design requirements specified in Section 2 of this schedule.
- Whether the use of materials, finishes and colours are appropriate.
- Whether compliance with the requirements of this schedule is achievable having regard to the size, shape, orientation and topography of the site and the location, type and condition of existing vegetation.
- The amenity impacts on any adjoining land particularly with respect to overshadowing, overlooking and visual bulk.
- Whether the layout provides for the safe ingress/egress to and from the site and that the layout provides for the separation of vehicle and pedestrian movement.
- Whether appropriate passive surveillance of the streetscape and public spaces is achieved through building design and placement.
- Whether the proposal presents the potential for underdevelopment of sites through buildings that achieve a significantly lower built form than encouraged.
- Whether land should be consolidated to facilitate the creation of viable development sites.