

20/09/2019
C124fran**SCHEDULE 13 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO13**.

FRANKSTON METROPOLITAN ACTIVITY CENTRE PRECINCTS 8 AND 9 – HEALTH AND EDUCATION AND CRANBOURNE ROAD OFFICE AND COMMERCIAL**1.0**20/09/2019
C124fran**Design objectives**

Ensure the design of new development is consistent with the objectives of the *Built Form Guidelines – Frankston Metropolitan Activity Centre Precinct 8 Health and Education, and Precinct 9 Cranbourne Road Office and Commercial, July 2018*.

Encourage development along Hastings and Cranbourne Roads that is responsive to their roles as gateways to the City Centre, consistent with the visions and objectives of the *Frankston Metropolitan Activity Centre Structure Plan, May 2015* and strengthens Frankston's role as a major health and education hub through the location of complimentary health, medical and educational services.

Provide for a range of commercial and residential uses that complement the mixed-use and commercial function of the precinct including the development of office suites along Cranbourne road, increased housing densities on upper levels of new development and the integration of health and education uses as part of mixed use development.

Encourage building interfaces that promotes surveillance of adjoining streets through activated frontages.

Ensure that the location and design of car parks, loading bays and services areas promotes active street frontages, does not dominate public spaces and supports safe use and access.

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C124fran**Buildings and works**

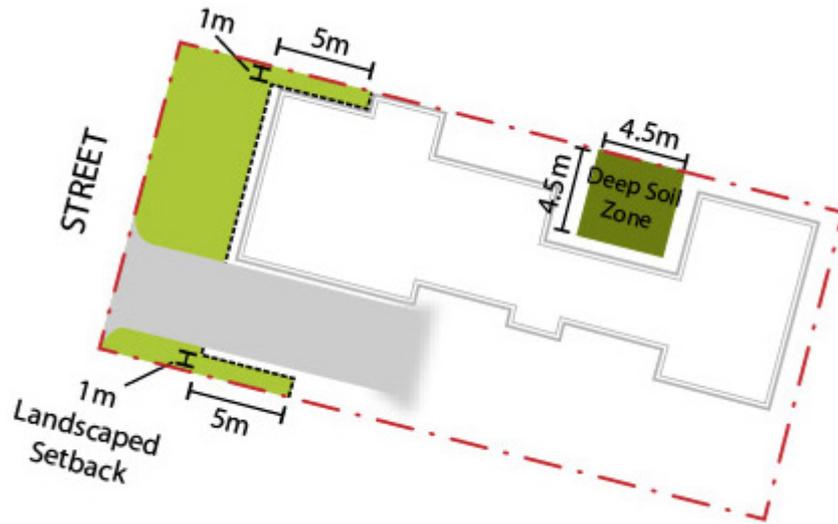
A permit is not required to:

- Construct a building or construct or carry out works associated with one dwelling on a lot.

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

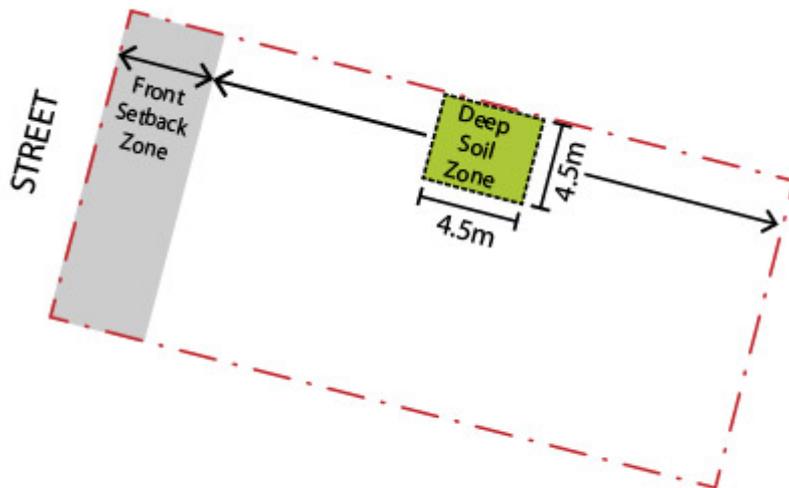
- Buildings should be constructed to a preferred maximum height of 14 metres.
- Street setbacks should be a minimum of 3 metres.
- Buildings should be setback by at least 1 metre from each side boundary for the first 5 metres of the buildings that front to the street (see Figure 1).

Figure 1



- 4.5 metre wide deep soil zones should be provided adjacent to side boundaries for a minimum of 4.5 metres in length. Side boundary deep soil zones are not to encroach into the front street setback areas (see Figure 2).

Figure 2



- For buildings of more than two storeys above natural ground level, the wall/s of the storey/s above the second storey should be setback from the wall/s of the storey below a minimum of 2.5 metres along the front and rear elevations. Balconies may encroach into this setback.
- Where a neighbouring development includes residential use, separation between buildings should utilise a 9 metre distance where possible to avoid overlooking between habitable rooms.
- Building facades should be articulated through the design of openings, balconies, varied materials, recessed and projected elements, and revealing structural elements such as columns and beams. Lighter and less detailed materials should generally be used on upper levels.
- Building entries should directly front the street and be clearly defined and legible from the public realm.

- Buildings on corner allotments should present as activated and articulated to the side elevation with opportunities for landscaping within the side setback.
- Buildings should maximise solar access by orientating buildings and associated open space areas to the north.
- Larger developments should incorporate communal outdoor space for staff, residents and visitors.
- Encourage screening of basement or semi-basement parking from the street.
- At grade car parking areas should be located away from street interfaces and not within front setbacks. Appropriate landscaping should be incorporated within at grade car parking areas.
- Utilities and services should not be located within the street frontage and should be screened.
- A minimum of 30% of the site area should be permeable unless on-site stormwater runoff is managed through alternative methods such as green roofs, raingardens and on-site bio-retention, to the satisfaction of the responsible authority.
- Directional and promotional signage should be of appropriate scale and incorporated into the building design.
- Roof decks and their associated structures should not exceed the preferred Building Heights specified in this schedule.
- A roof deck should:
 - Be designed and constructed of materials that integrate with the architectural style and form of the building.
 - Not include any permanent or moveable structure or element that will increase the visual bulk of the building, including pergolas, verandahs, shelters and storage areas.
 - Be setback on all sides at least 2 metres from the roof edge of the storey immediately below to minimise visual impact on all elevations.
 - Be designed to limit views into secluded private open space and habitable room windows of adjacent dwellings.
 - Be accessed by a structure that is designed and located to have minimal visual impact on all elevations, does not enclose any usable floor space and does not exceed 2.4 metres in height (measured from floor level at the point of access onto the roof deck).
 - Be constructed so that the deck floor level is no greater than 1 metre above the lower ceiling face of the storey immediately below.

3.0

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Subdivision

None specified.

4.0

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Signs

None specified.

5.0

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Application requirements

None specified.

6.0

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Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

FRANKSTON PLANNING SCHEME

- Whether any variation to the preferred building height specified in Section 2.0 of this Schedule is consistent with the overall vision and objectives of the *Frankston Metropolitan Activity Centre Structure Plan, May 2015*.
- Whether development is consistent with the *Built Form Guidelines – Frankston Metropolitan Activity Centre Precinct 8 Health and Education, and Precinct 9 Cranbourne Road Office and Commercial, July 2018*.
- Building height, building setback, and building form and design requirements specified in Section 2 of this schedule.
- Whether the use of materials, finishes and colours is appropriate.
- Whether compliance with the requirements of this schedule is achievable having regard to the size, shape, orientation and topography of the site.
- The amenity impacts on any adjoining land particularly with respect to overshadowing, overlooking and visual bulk.
- The layout and appearance of areas set aside for car parking, ingress and egress, loading and unloading, and that the layout provides for the separation of vehicle and pedestrian movement.
- Whether appropriate passive surveillance of the streetscape and public spaces is achieved through building design and placement.
- Whether the layout provides for the safe ingress/egress to and from the site and that the layout provides for the separation of vehicle and pedestrian movement.
- Whether the development provides for adequate access to each building for emergency services and the pickup of waste.
- Whether appropriate landscaping opportunities can be achieved.
- Whether the proposal presents the potential for underdevelopment of sites through buildings that achieve a significantly lower built form than encouraged.
- Whether land should be consolidated to facilitate the creation of viable development sites.
- Whether the development has proper regard to the development potential of adjoining sites and the ability for future development to obtain reasonable solar access.