

06/02/2020  
C128surf**SCHEDULE 18 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO18**.

**DEANS MARSH TOWNSHIP CHARACTER****1.0**06/02/2020  
C128surf**Design objectives**

To preserve and build on the low scale, historic rural character of the town through the appropriate design and style of buildings, fences and signs. The important elements comprise:

- 1-2 storey building scale
- Pitched roof
- Lightweight, weatherboard cladding
- Lightweight, open front fencing

To encourage an active streetscape frontage for commercial development.

To provide a minimum lot size for on-site wastewater dispersal.

**2.0**06/02/2020  
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The following permit requirements only apply to the precinct area identified in Map 1 to this schedule.

A permit is required to construct a fence that is more than 1 metre in height.

A permit is not required to construct a building or construct or carry out works where all of the following are met, as applicable:

- The roof of the new building or building extension has a pitch greater than 20 degrees;
- At least 70% of the external wall cladding (excluding doors and windows) of the new building or building extension is weatherboard or weatherboard in appearance (horizontal or vertical overlapping boards used as cladding);
- The new building or building extension is not more than two storeys and not more than 7.5 metres in height;
- A new outbuilding on the land is located behind the dwelling.

A permit is not required to construct works normal to a dwelling.

**Requirements**

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- Buildings should not exceed two storeys.
- Buildings should not exceed 7.5 metres in height.
- Buildings should enhance the historic character of the township as generally illustrated in Diagram 1 to this schedule.
- A garage associated with a dwelling should be setback at least 1 metre behind the front wall of the dwelling and be similar in style to the dwelling.
- New commercial development should provide for integrated on and off street parking.

- Off-street commercial car parking should be sited to the rear of commercial development so that it does not dominate the streetscape (Refer to Diagram 2 & 3 to this schedule).
- Commercial development should be built to the street boundary and should have verandas over the footpath. (Refer to Diagram 2 & 3 to this schedule).

### **3.0**

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#### **Subdivision**

A permit to subdivide land must meet the following requirements:

- A lot should have an area of at least 0.4 hectares.
- A lot that includes a battle-axe driveway must not include the area of the driveway in the lot area calculation.

### **4.0**

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#### **Signs**

Sign requirements are at Clause 52.05. All land within this schedule is in Category 3.

### **5.0**

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#### **Application requirements**

The following application requirements apply to an application for a permit to subdivide land under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A Land Capability Assessment.

### **6.0**

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#### **Decision guidelines**

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether a fence greater than 1 metre in height respects the character of the streetscape through lightweight construction and visual permeability.
- Whether a roof pitch less than 20 degrees is appropriate having regard to:
  - the existing and preferred character of the area
  - the extent of any reduction in roof pitch below 20 degrees
  - the proportion of the roof with a pitch that is less than 20 degrees
  - the prominence of the building in the streetscape and from other public viewing areas.
- Whether the external wall cladding is appropriate having regard to the existing and preferred character and the prominence of the building in the streetscape and from other public viewing areas.
- Whether the setback of an outbuilding or garage relative to a dwelling on the site is appropriate having regard to its comparative scale and visual prominence within the streetscape.
- Whether a sign would be dominant in the streetscape, having regard to its size, location, colour and illumination.
- Whether the area and dimensions of a lot provides for on-site treatment and dispersal of wastewater having regard to topography and soil characteristics.

Diagram 1 to Schedule 18 to Clause 43.02

**Preferred Building Elements**

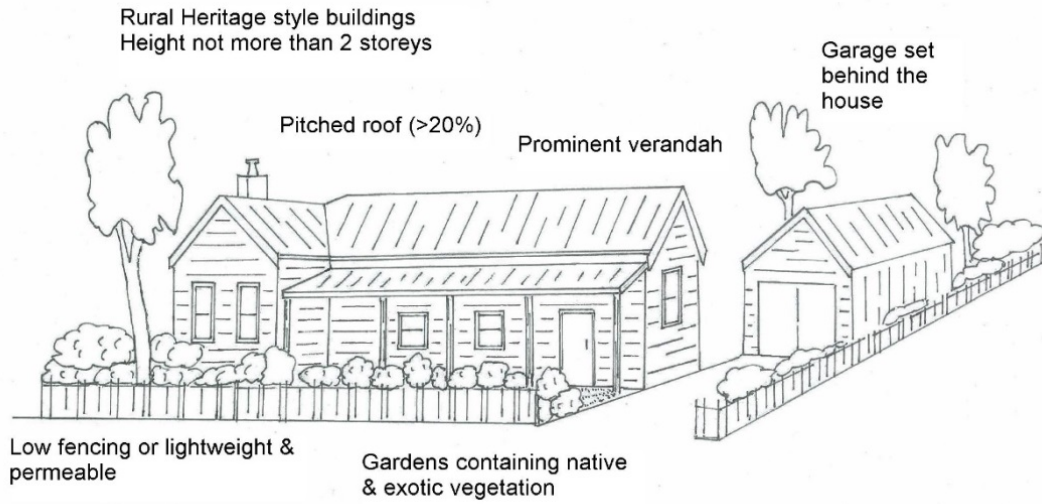
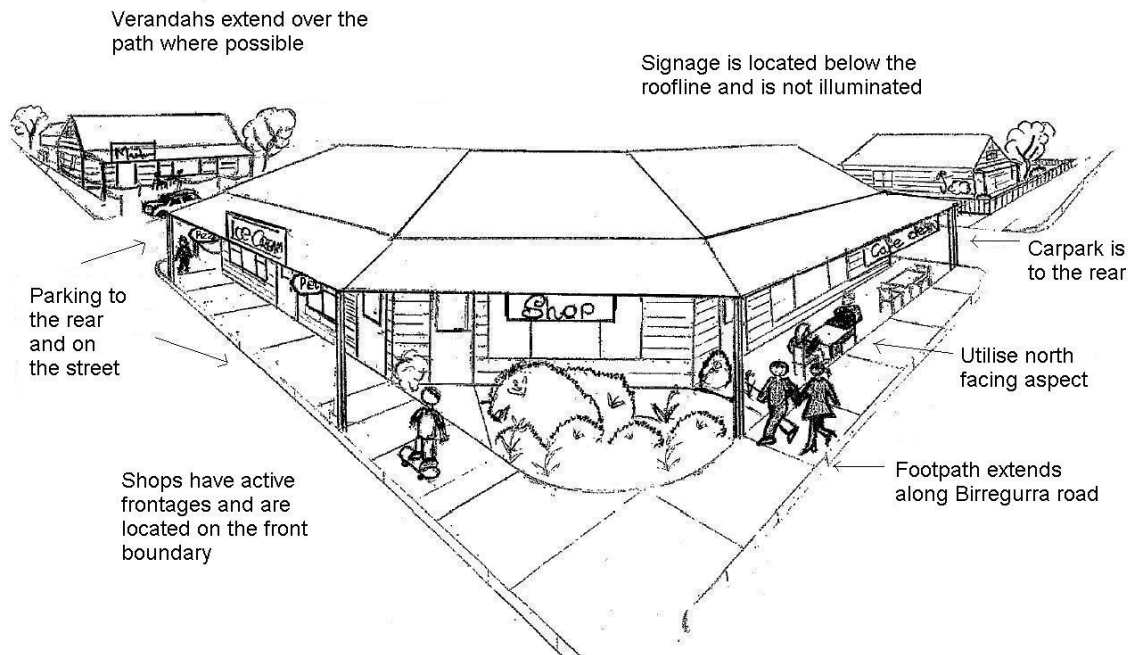


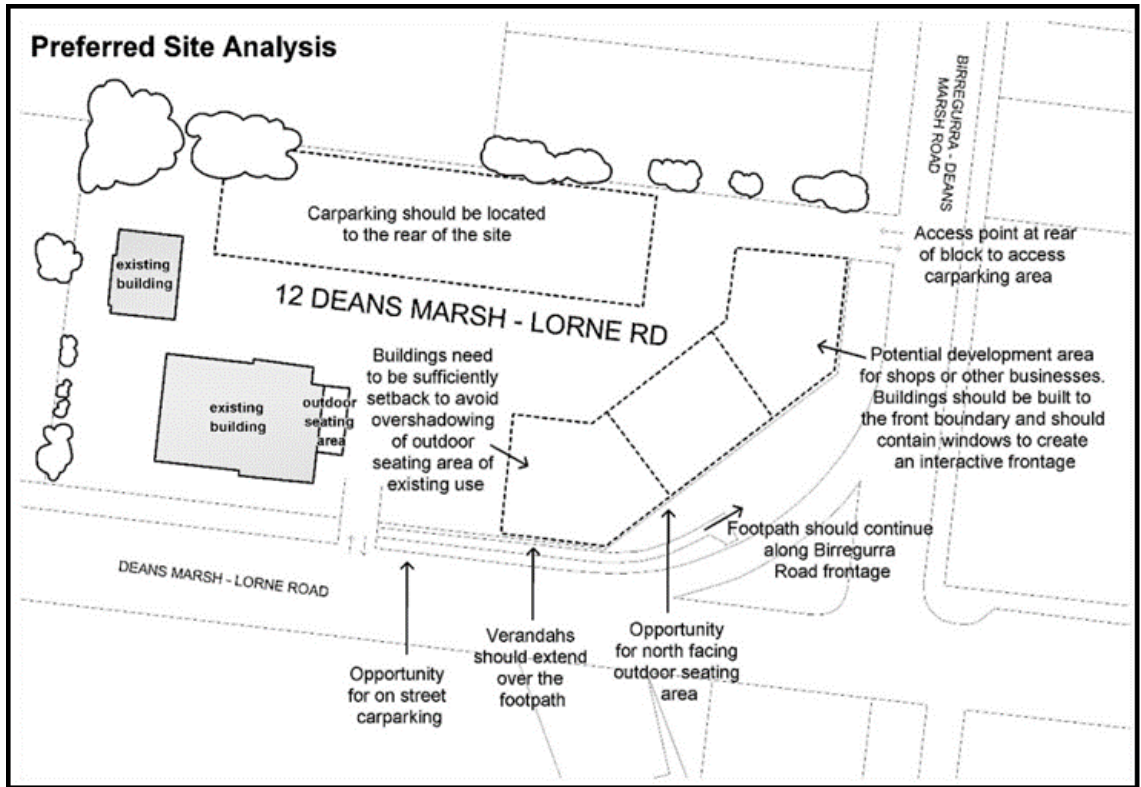
Diagram 2 to Schedule 18 to Clause 43.02

**Preferred Design Guidelines**



SURF COAST PLANNING SCHEME

Diagram 3 to Schedule 18 to Clause 43.02



Map 1 to Schedule 18 to Clause 43.02

